


PROPERTY OWNERS WITHIN 200 FT.						
OWNER & ADDRESS REPORT						
LINDEN		DEBRA J. HUFFORD-NEE BLOCK 436 LOT 11.01			02/24/20 Page 1	
BLOCK	LOT	QUAL	CLA	PROPERTY OWNER	PROPERTY LOCATION	Acres (Lots)
434	14.02		4A	SAM'S EAST INC. RD BOX 8500 NE 0555 BENTONVILLE, AR 72712	2201 E EDGAR RD	
434	15.01		4A	GENMARCO, JOSEPH RESIDUAL TRUST WHITE CASTLE POB 1490 COLUMBUS, OH 43216	2001 E EDGAR RD	
434	16.02		4B	PARK AVENUE ENTERPRISES LLC 501 S PARK AVE LINDEN, NJ 07036	501 S PARK AVE	370,481,481
434	17		4A	SP WHF SUB A LLC 3050 PEACHTREE RD NW 300 ATLANTA, GA 30305	401 S PARK AVE	370,47,42,46,4C1
458	1		4A	LINDEN BP REALTY LLC - PROPERTY TAX POB 041709 ROSTON, TX 77094	2000 E EDGAR RD	
493	1.01		1	KULKA, JOSEPH & BARBARA 1920 E EDGAR RD LINDEN, NJ 07036	1900 E EDGAR RD	426, 11 TO 20
493	1.02		1	KULKA, JOSEPH & BARBARA 1920 E EDGAR RD LINDEN, NJ 07036	1910 E EDGAR RD	426,9,10
493	2		4A	KULKA, JOSEPH & BARBARA 1920 E EDGAR RD LINDEN, NJ 07036	1920 E EDGAR RD	426,14/8,30/35
497	1		4A	S & A MANAGEMENT LLC 1000 E EDGAR RD MORRISTOWN, NJ 07951	1804 E EDGAR RD	422,10 TO 14
497	4		4A	ZEPI LLC C/O MESSIR BERBEROGU 1820 E EDGAR RD LINDEN, NJ 07036	1820 E EDGAR RD	422,1/9,29,30,43A
501	4		1	KULKA, JOSEPH & BARBARA 1920 E EDGAR RD LINDEN, NJ 07036	1718 E EDGAR RD	418,1/3
EASEMENT	Michael F. Stonac, Manager engineering Design One Elizabethtown Plaza, 3 <sup>rd</sup> Fl. East Union, New Jersey 07083					
EASEMENT	Donna Short GIS Supervisor New Jersey-American Water Company, Inc. 1025 Laurel Oak Road Voorhees, New Jersey 08043					
EASEMENT	Public Services Electric & Gas Company Manager-Corporation Properties 80 Park Plaza T68 Newark, New Jersey 07102					
EASEMENT	Elizabethtown Gas Company Greg Balint 520 Green Lane Union, New Jersey 07083					
EASEMENT	Verizon c/o Thomas Grabowski 445 Georges Road, North Brunswick, NJ 08902					
EASEMENT	Comcast Cable 800 Railway Avenue, Union, New Jersey 07083					
EASEMENT	Sun Pipe Line Company Right of Way Dept-26 <sup>th</sup> Floor 1801 Market Street Philadelphia, PA 19103-1699					
EASEMENT	Sunoco Pipeline L.P. Right of Way Dept. Montello Complex 525 Fritztown Road Sinking Spring, PA 19508					
STATE HIGHWAY	New Jersey Department of Transportation 1035 Parkway Avenue, Trenton, New Jersey 08625					
LIST CERTIFIED TO BE AN ABSTRACT OF TRUE RECORD CONTENT						
INDEX OF SHEETS						
SHEET NUMBER	DESCRIPTION					LATEST REVISION
1	COVER SHEET					
2	EXISTING CONDITIONS PLAN					
3	DIMENSION PLAN					
4	GRADING PLAN					
5	UTILITIES PLAN					
6	PROFILES					
7	LANDSCAPE PLAN					
8	LANDSCAPING NOTES AND DETAILS					
9	LIGHTING PLAN					
10	LIGHTING DETAILS					
11	SOIL EROSION AND SEDIMENT CONTROL PLAN					
12	SOIL EROSION AND SEDIMENT CONTROL NOTES					
13	SOIL EROSION AND SEDIMENT CONTROL DETAILS					
14	TRUCK CIRCULATION PLAN					
15 - 20	CONSTRUCTION DETAILS					

# AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN

## FOR

# WAWA LINDEN

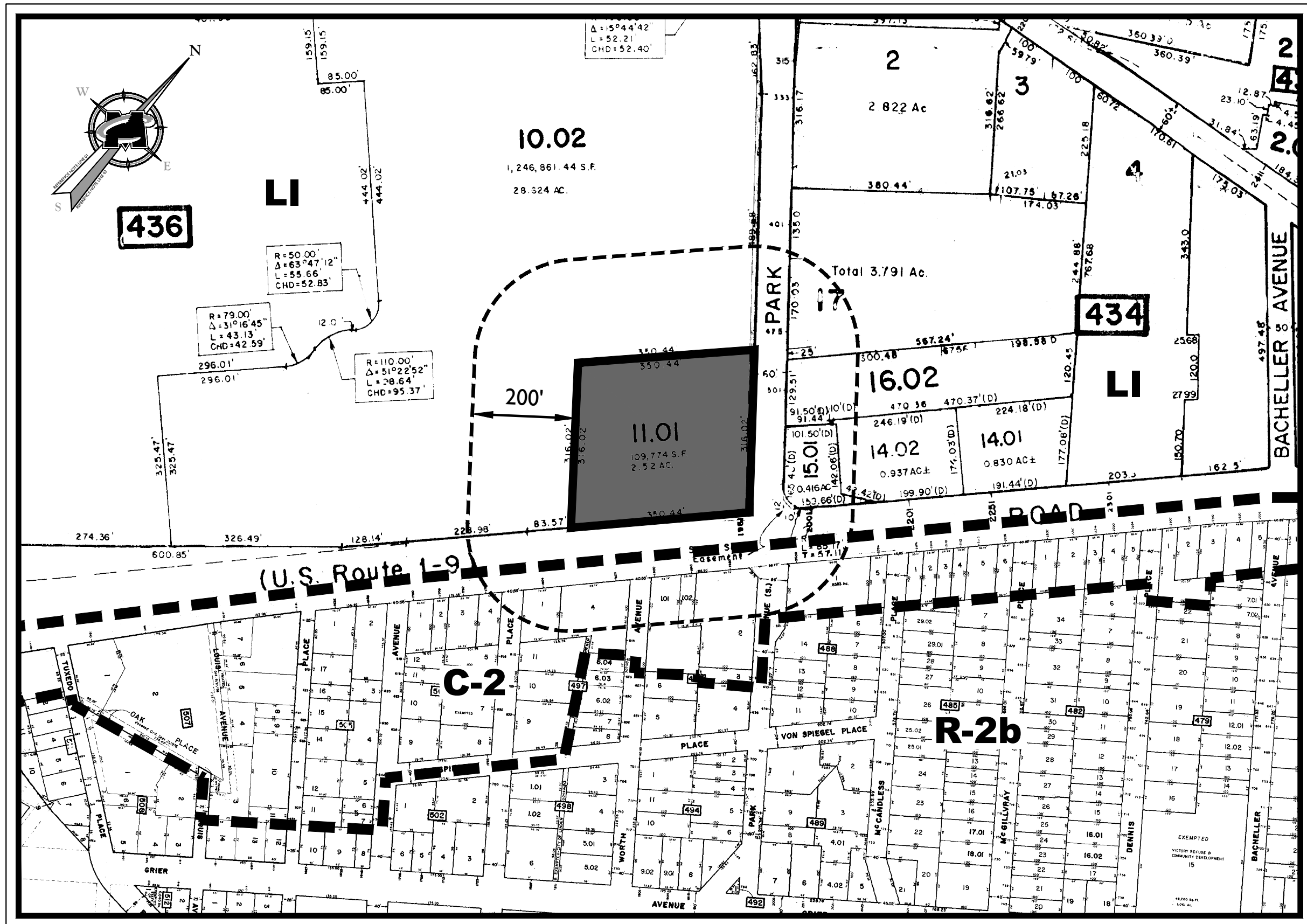


## BLOCK 436, LOT 11.01

## 1951 EAST EDGAR ROAD

## CITY OF LINDEN

## UNION COUNTY NEW JERSEY



## KEY & ZONING MAP

### ZONE LEGEND

C-2	RETAIL COMMERCIAL
LI	LIGHT INDUSTRIAL
R-2b	TWO FAMILY 40'

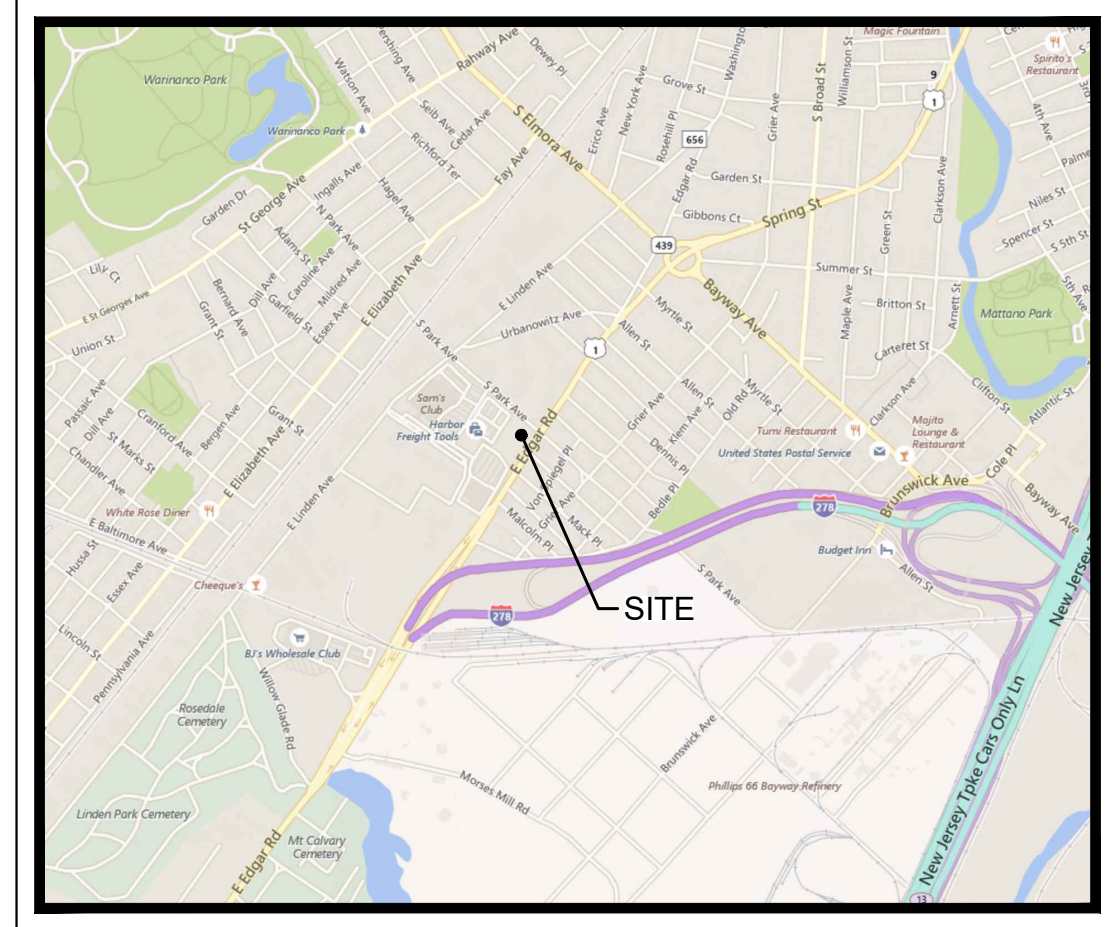
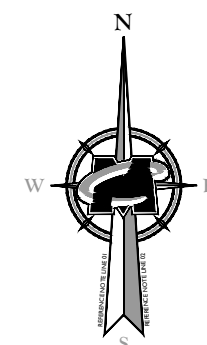
WAWA SITE DATA TABLE		L. RIEDENBACH 215-384-8805
PROPERTY ADDRESS:	1951 E. EDGAR RD. LINDEN, NJ 07036	
JURISDICTION:	CITY OF LINDEN MUNICIPAL DISTRICT	
ZONE:	PLAN AREA B 2.424 ACRES	
BUILDING TYPE (W40, W45, CUSTOM)	W50T	
CANOPY CONFIGURATION (WINGS, STRAIGHT, SPLIT, STACKED)	STACKED	
# OF MPDS:	8	
CANOPY TYPE:	SLOPED	
TYPE OF MPDS:	3+1 (8)	
# OF ADA PARKING SPACES:	42	
# OF ADA PARKING SPACES:	2	
# OF TRUCK/OVERSIZE PARKING SPACES:	0	
S.F. OF ASPHALT INSIDE R.O.W. (TO BE SEAL COATED):	28,085	
S.F. OF LAWN AREA (TO BE MOVED):	6,489	
S.F. OF MULCH AREAS:	3,162	

APPROVED BY THE PLANNING BOARD OF THE CITY OF LINDEN AT THE REGULAR MEETING OF \_\_\_\_\_ DATE \_\_\_\_\_

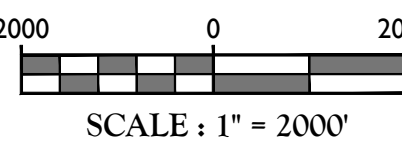
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



### LOCATION MAP



### GENERAL INFORMATION

- THE SUBJECT PROPERTY ADDRESS IS 1951 E EDGAR RD, LINDEN, NJ 07036 AND IS KNOWN AS LOT(S) 11.01 IN BLOCK(S) 436 AS SHOWN ON SHEET(S) 141 OF THE OFFICIAL TAX MAP OF THE CITY OF LINDEN, UNION COUNTY, NEW JERSEY, REVISED THROUGH 10/14/14.
- THE PROPERTY IS LOCATED IN A DESIGNATED REDEVELOPMENT ZONE KNOWN AS THE INFINEUM REDEVELOPMENT PROJECT AND CONTAINS A TOTAL TRACT AREA OF 105,600 SF, OR 2.424 ACRES.
- OWNER/APPLICANT: LINDEN EDGAR, LLC  
4 CAUFIELD PLACE, SUITE 102  
NEWTOWN, PA 18940  
PHONE: 484-430-3555  
FAX: 484-434-3988  
EMAIL: KCD@THEEDHERGROUP.COM
- THE SUBJECT PROPERTY IS PRESENTLY DEVELOPED WITH A GAS STATION CONTAINING A CONVENIENCE STORE, FUELING CANOPY WITH 11 FUELING POSITIONS, A CAR WASH, AND A STORAGE BUILDING ALONG WITH TYPICAL APPURTENANT SITE IMPROVEMENTS SUCH AS LIGHTING, PARKING LOTS, AND FENCING. THE APPLICANT PROPOSES TO DEMOLISH THE EXISTING USE AND CONSTRUCT A CONVENIENCE STORE WITH GASOLINE FUEL SALES AND SEPARATE RETAIL USE ALONG WITH, BUT NOT LIMITED TO, TYPICAL SITE IMPROVEMENTS SUCH AS PARKING LOTS, LIGHTING, AND STORMWATER MANAGEMENT.
- BOUNDARY SURVEY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLANS ENTITLED: "ALTAIRUS LAND TITLE SURVEY FOR THE DREHER GROUP, BLOCK 436, LOT 11.01, CITY OF LINDEN, UNION COUNTY, NEW JERSEY," DATED 3/27/17, LAST REVISED 6/22/18 PREPARED BY ERIC V. WILDE P.L.L.C. NO. 654327, OF MASER CONSULTING, P.A.
- THE HORIZONTAL DATUM IS RELATIVE TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM AND ADJUSTED TO NAD 1983. THE VERTICAL DATUM IS RELATIVE TO N.A.V.D. 1988.
- IN ACCORDANCE WITH NJDEP GEOLOGY, NO FRESHWATER WETLANDS ARE KNOWN TO EXIST ON THE SITE.
- NO 100 YEAR FLOOD PLAINS ARE KNOWN TO EXIST ON THE SITE PER THE FLOOD INSURANCE RATE MAP 3809C034F FOR UNION COUNTY, NEW JERSEY, DATED SEPTEMBER 20, 2006 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- SOIL TEST PIT LOCATIONS SHOWN HEREON ARE AS SHOWN IN A REPORT ENTITLED: "REPORT OF GEOTECHNICAL ENGINEERING STUDY FOR PROPOSED RETAIL DEVELOPMENT," PREPARED FOR THE DREHER GROUP, DATED: 7/18/17, PREPARED BY MASER CONSULTING, P.A.
- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
  - RESIDENTIAL SITE IMPROVEMENT STANDARD (IN L.A.C. 521);
  - NEW JERSEY DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," 2007, AS SUPPLEMENTED;
  - CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS;
  - CURRENT PREVAILING UTILITY COMPANY(AUTHORITY) SPECIFICATIONS, STANDARDS, AND REQUIREMENTS;
  - CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- WATER SERVICE TO BE PROVIDED FROM THE EXISTING WATER MAIN LINE WITHIN ROUTE 1 & 9, OWNED AND OPERATED BY THE NEW JERSEY AMERICAN WATER COMPANY PARTNAR. PROPOSED WATER MAIN EXTENSIONS AND FIRE HYDRANT LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL ACCORDING TO THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS, AMERICAN WATERWORKS ASSOCIATION STANDARDS, AND IN THE FIRELANDS AREA, THE STANDARDS OF THE FIRELANDS COMPREHENSIVE MANAGEMENT PLAN. PIPE MATERIALS SHALL BE CEMENT UNED DUCTILE IRON PIPE, CLASS 52, WITH ASPHALTIC EPOXY TYPE COATING. WATER MAINS SHALL BE INSTALLED TO PROVIDE A MINIMUM 4 FEET OF COVER FROM THE TOP OF PIPE TO THE PROPOSED GRADE.
- SANITARY SEWER SERVICE SHALL BE PROVIDED BY GRAVITY CONNECTION TO EXISTING SEWER MAIN WITHIN PARK AVENUE, OWNED AND OPERATED BY LINDEN MOBILE SEWERAGE AUTHORITY. PROPOSED SEWER MAIN EXTENSIONS AND MANHOLE LOCATIONS ARE SUBJECT TO MUNICIPAL REVIEW AND APPROVAL ACCORDING TO THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS. PIPE MATERIALS SHALL BE PVC SDR-35, EXCEPT AS NOTED OTHERWISE ON THE PLANS. EXCEPT WHERE SHALLOWER DEPTHS ARE PERMITTED BY THE MUNICIPALITY OR UTILITY AUTHORITY, SEWER LINES, INCLUDING FORCE MAINS AND LATERALS, SHALL BE INSTALLED TO PROVIDE A MINIMUM 3 FEET OF COVER FROM THE TOP OF PIPE TO PROPOSED GRADE.
- ALL WATER MAINS AND SANITARY OR INDUSTRIAL SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH SEPARATION, EXPLICITLY APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT.
- IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF "WATERTIGHT" CONSTRUCTION (THAT IS DUCTILE IRON PIPE WITH MECHANICAL RESTRAINT JOINTS) WITH WATER TIGHT JOINTS THAT ARE A MINIMUM OF 10 FEET FROM THE WATER MAIN. CONTRACTOR SHALL USE TRANSITION COUPLING, POWERLOCK, MODEL #3501-8AAB OR EQUIVALENT AT DRIPVC JOINTS.
- GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY(AUTHORITIES).
- STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) OF "O" RING GASKETS OR INTERNALLY REBELLICATED GASKET (ITOLX SUPERIOR OR EQUIVALENT), 1/2 GAUGE ALUMINIZED TYPE II COATED CORRUGATED PIPE (CIP), AND 1/2 HIGH DENSITY POLYETHYLENE PIPE (HDPE), HANCOCK SURE-LOCK HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR APPROVED EQUAL AS NOTED. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- REUSE AND RECYCLABLES SHALL BE STORED WITHIN EACH USE UNTIL DESIGNATED PICK UP DAY OR WITHIN OUTSIDE SCREENED TRASH ENCLOSURES AS NOTED ON THE PLANS.
- CURBS SHALL BE DERESSED FLUSH WITH PAVEMENT, AND HANDICAPPED ACCESSIBLE RAMPS INSTALLED WHERE SIDEWALKS AND CROSSWALKS INTERSECT SAME. DETECTABLE WARNINGS SHALL BE INCLUDED ON HANDICAP ACCESSIBLE RAMPS.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

### ZONE DATA - REDEVELOPMENT ZONE (INFINEUM)

	EXISTING	REQUIRED	PROPOSED	VARIANCE
MINIMUM LOT AREA	105,600 SF		105,600 SF	
MINIMUM LOT WIDTH	319 FT		319 FT	
MINIMUM LOT DEPTH	298 FT		298 FT	
PRINCIPAL BUILDING	25 FT ±	2 STORIES ± 35 FT	1 STORY ± 33 FT ± 25 FT	
MINIMUM FRONT SETBACK	75 FT	30 FT	49.3 FT	
MINIMUM REAR SETBACK	108 FT	30 FT	36 FT	
MINIMUM SIDE SETBACK	108 FT	30 FT	14.7 FT	VARIANCE
MINIMUM SIDE SETBACK	108 FT	30 FT	78.8 FT	
FLOOR AREA RATIO (RETAIL & GAS SERVICE STATION)		0.25	0.12	
ACCESSORY BUILDING/STRUCTURE				
MINIMUM LOT COVERAGE	109 FT	12 FT	177 FT	
MINIMUM REAR SETBACK	138.5 FT	25 FT	5 FT	VARIANCE
MAXIMUM LOT COVERAGE	5.9%	50%	17.1%	
PARKING NUMBER				
RETAIL ± 1 SPACE / 200 SF ± 36				
GAS SERVICE STATION ± 1 SPACE / 200 SF ± 36				
TOTAL ± 64			90	
PARKING SIZE	9'x18'		9'x18'	
LOADING NUMBER	1 SPACE	2 SPACES		
LOADING SIZE	12' W x 50' L	12' W x 50' L		

ZONE:	DESCRIPTION	REQUIRED	PROPOSED
BUILDING (front)	SIGNAGE Proposed Convenience Store w/ Gas Station	NUMBER 1	1
		AREA 10% of wall area = 185 sq ft	37 sq ft
		HEIGHT 4 ft	4 ft 3/4 in V
		WIDTH -	9 ft 1 in
BUILDING (rear)	NUMBER 1	1	1
		AREA 10% of wall area = 191 sq ft	67 sq ft
		HEIGHT 4 ft	5 ft 6 1/2 in V
		WIDTH -	12 ft 2 5/8 in
CANOPY (Pitched Roof Sign)	NUMBER 1	1	1
		AREA 50 sq ft	47 sq ft
		HEIGHT 18 ft	20 ft V
		WIDTH 10 ft	8 ft 10 in
VERTICAL EXTENSION	Top of canopy	1	1
		NUMBER 1	1
		AREA 50 sq ft	47 sq ft
		HEIGHT 18 ft	20 ft V
FREESTANDING (Illuminated)	NUMBER 1	1	1
		AREA 50 sq ft	47 sq ft
		HEIGHT 18 ft	20 ft V
		WIDTH 10 ft	8 ft 10 in
Proposed Retail	NUMBER 1	1	1
		AREA 10% of wall area	
		HEIGHT 18 ft	20 ft V
		WIDTH 10 ft	8 ft 10 in
FREESTANDING (NON-ILLUMINATED)	NUMBER 1	1	1
		AREA 50 sq ft	47 sq ft
		HEIGHT 18 ft	20 ft V
		WIDTH 10 ft	8 ft 10 in

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**JELENA BALORDA-BARONE**  
NEW JERSEY PROFESSIONAL ENGINEER - LICENSE NUMBER: GE44465

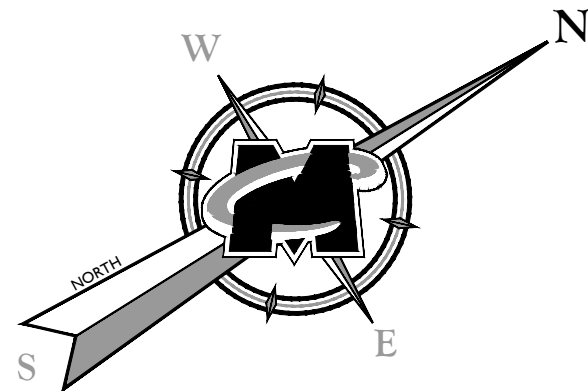
AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN  
FOR  
WAWA LINDEN  
**Wawa**  
BLOCK 436 LOT 11.01  
CITY OF LINDEN  
UNION COUNTY  
NEW JERSEY

**RED BANK OFFICE**  
Corporate Headquarters  
331 Newman Springs Road  
Suite 303  
Red Bank, NJ 07701  
Phone: 732.383.1950  
Fax: 732.383.1994

SCALE: AS SHOWN DATE: 3/20/2020 DRAWN BY: PCS CHECKED BY: MFG  
PROJECT NUMBER: 15002372A DRAWING NAME: C-COVER

SHEET TITLE: COVER SHEET  
SHEET NUMBER: 1 of 20





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SCALE : 1" = 30'

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JELENA GALORDA-BARONE  
NEW JERSEY PROFESSIONAL  
ENGINEER - LICENSE NUMBER: GE44465

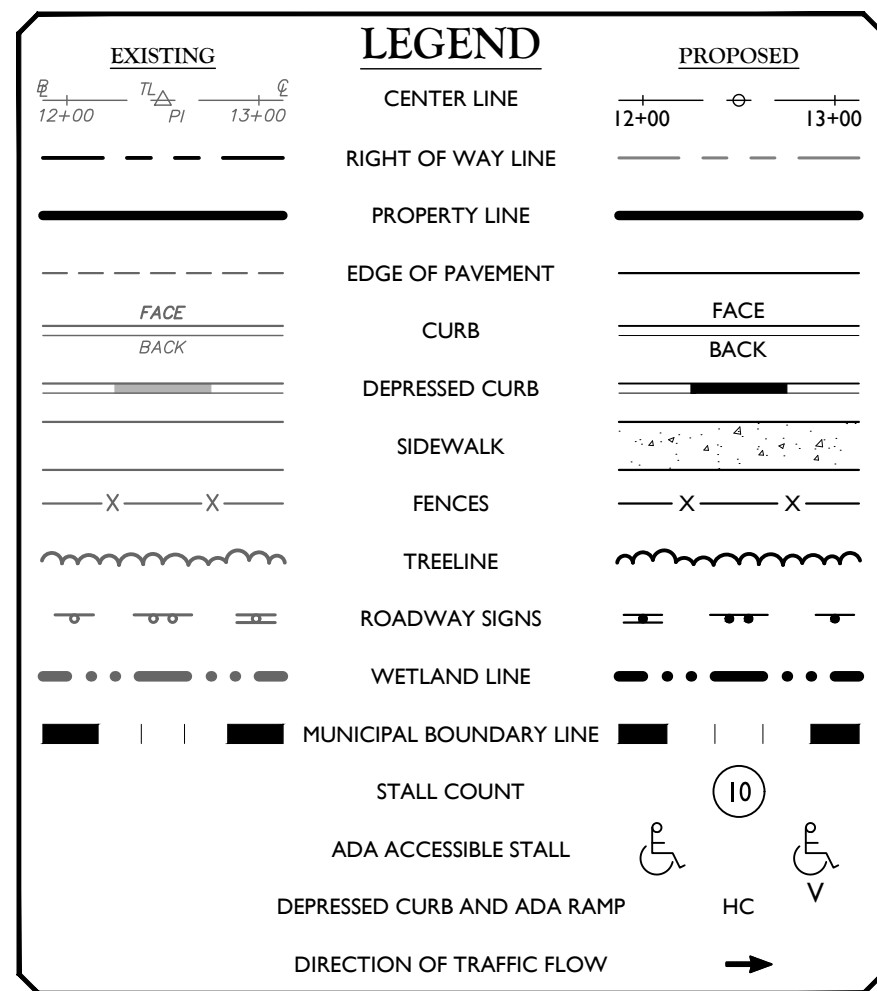
AMENDED PRELIMINARY  
AND FINAL MAJOR  
SITE PLAN  
FOR  
WAWA LINDEN



BLOCK 436 LOT 11.01

CITY OF LINDEN  
UNION COUNTY  
NEW JERSEY

		<b>RED BANK OFFICE</b> Corporate Headquarters 331 Newman Springs Road Suite 203 Red Bank, NJ 07701 Phone: 732.383.1950 Fax: 732.383.1984	
SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	3/20/2002	PCS	MFG
PROJECT NUMBER: 15002372A		DRAWING NAME: C-DEMO	
SHEET TITLE:  <h1 style="margin: 0;">EXISTING CONDITIONS PLAN</h1>			
SHEET NUMBER:  <div style="display: flex; justify-content: space-around; font-size: 2em; font-weight: bold;"> <span>2</span> <span>of</span> <span>20</span> </div>			



**GENERAL NOTES:**

1. ANY EXISTING CURB IN DISREPAIR SHALL BE REMOVED AND REPLACED IN KIND.
2. REFER TO SHEET 16 FOR PAVEMENT DETAIL ALL PAVEMENT ON SITE IS OF SAME TYPE.
3. NO PERMANENT STRUCTURES AND THEIR FOUNDATIONS SHALL BE LOCATED WITHIN THE STATE RIGHT-OF-WAY



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JELENA BALORDA-BARONE  
NEW JERSEY PROFESSIONAL  
ENGINEER - LICENSE NUMBER: GE44465

AMENDED PRELIMINARY  
AND FINAL MAJOR  
SITE PLAN  
FOR  
WAWA LINDEN



BLOCK 436 LOT 11.01

CITY OF LINDEN  
UNION COUNTY  
NEW JERSEY



**RED BANK OFFICE**  
Corporate Headquarters  
331 Newman Springs Road  
Suite 203  
Red Bank, NJ 07701  
Phone: 732.383.1950  
Fax: 732.383.1984

SCALE: AS SHOWN	DATE: 3/20/2020	DRAWN BY: PCS	CHECKED BY: MFG
PROJECT NUMBER: 15002372A		DRAWING NAME: C-LAYT	

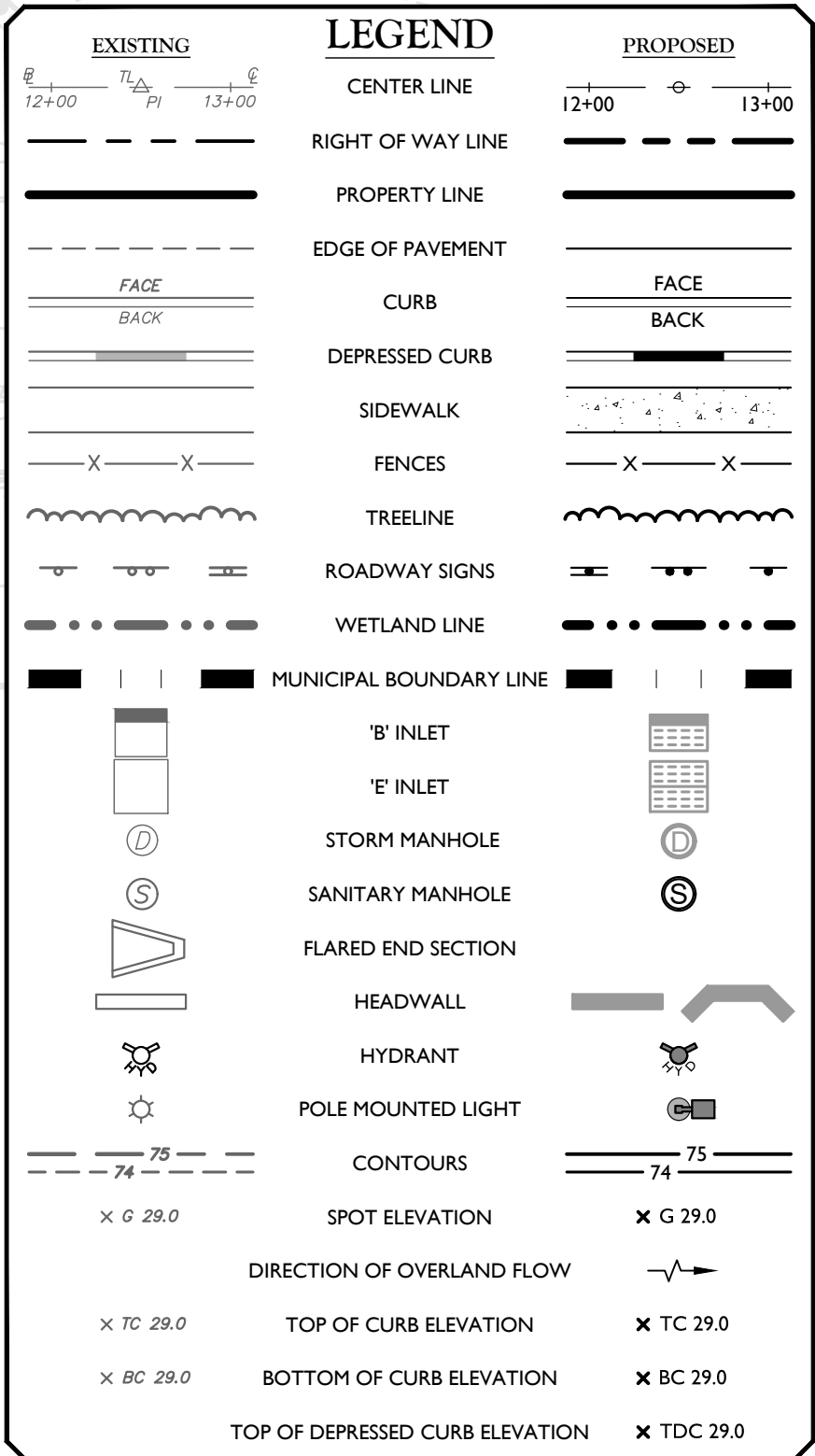
SHEET TITLE:

**DIMENSION PLAN**

SHEET NUMBER: 3 of 20



SPOT SHOT	TOP OF ISLAND	GRADE
A1	19.10	18.60
A2	19.10	18.52
A3	19.10	18.43
A4	19.10	18.52
B1	19.20	18.70
B2	19.20	18.62
B3	19.20	18.53
B4	19.20	18.62
C1	19.20	18.70
C2	19.20	18.62
C3	19.20	18.53
C4	19.20	18.62
D1	19.10	18.60
D2	19.10	18.52
D3	19.10	18.43
D4	19.10	18.52
E1	18.80	18.30
E2	18.80	18.22
E3	18.80	18.13
E4	18.80	18.22
F1	18.85	18.35
F2	18.85	18.27
F3	18.85	18.18
F4	18.85	18.27
G1	18.85	18.35
G2	18.85	18.27
G3	18.85	18.18
G4	18.85	18.27
H1	18.80	18.30
H2	18.80	18.22
H3	18.80	18.13
H4	18.80	18.22



SCALE : 1" = 30'



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99	1-1-82	W	99
100	1-1-82	W	100

AMENDED PRELIMINARY  
AND FINAL MAJOR  
SITE PLAN  
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WAWA LINDEN





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SHEET TITLE:

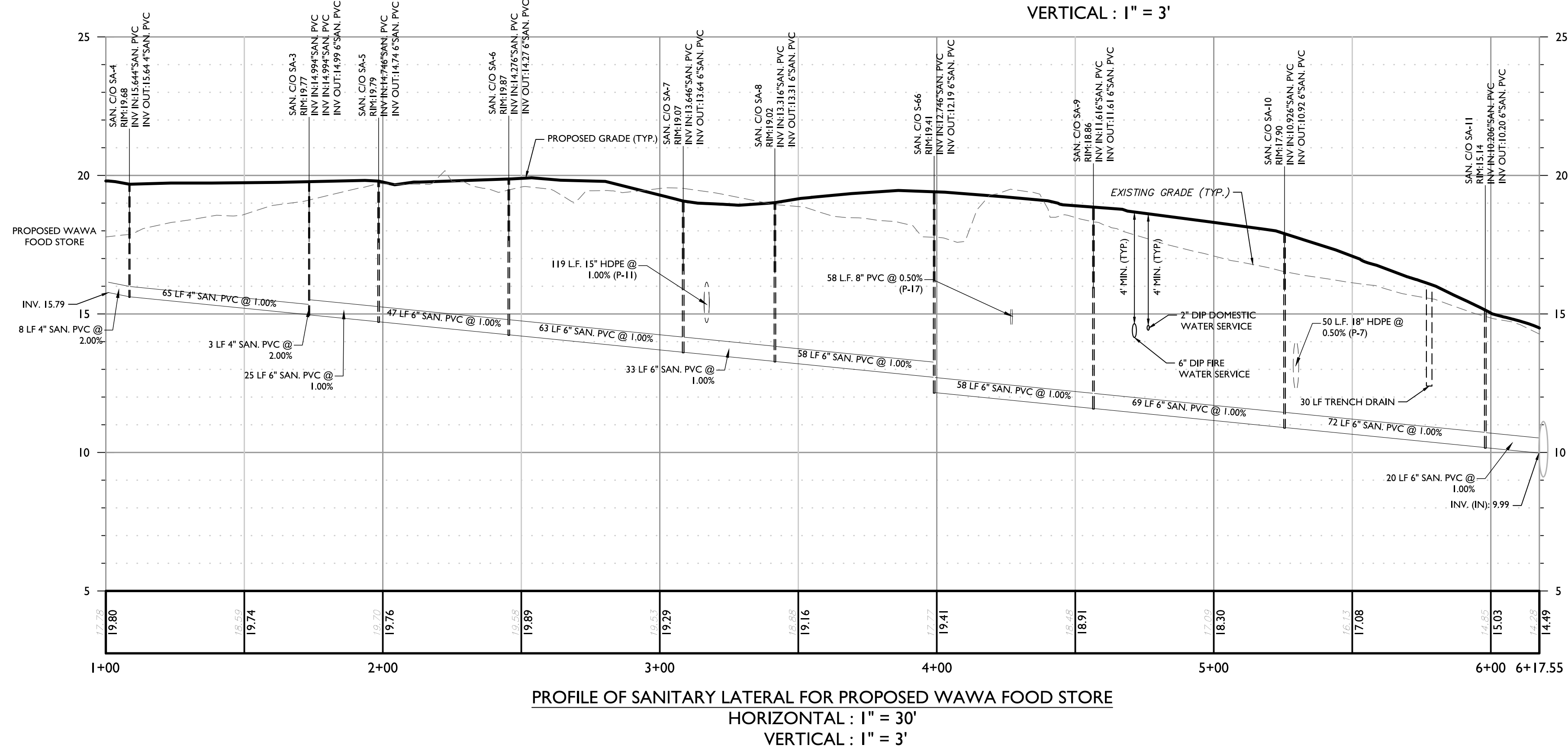
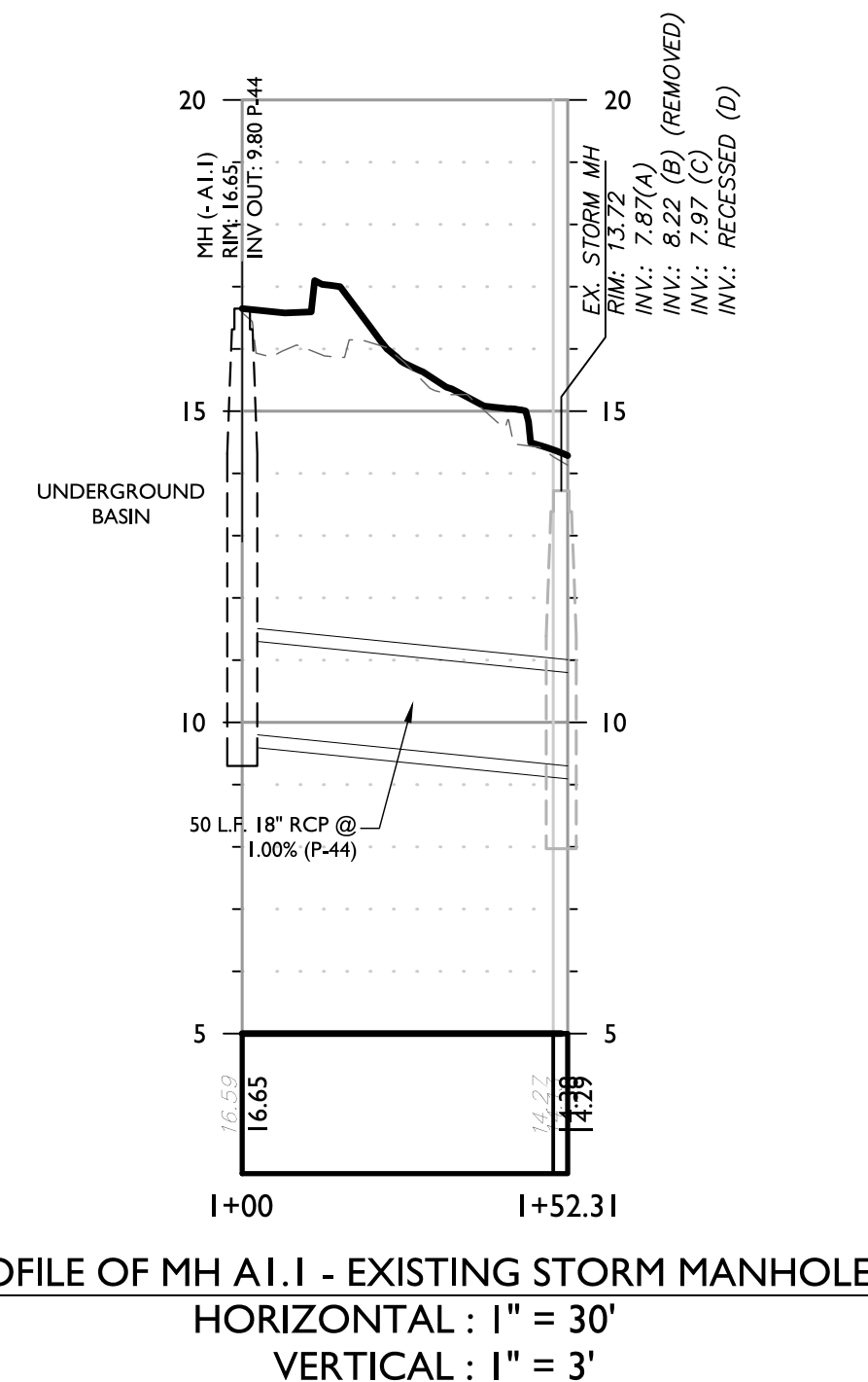
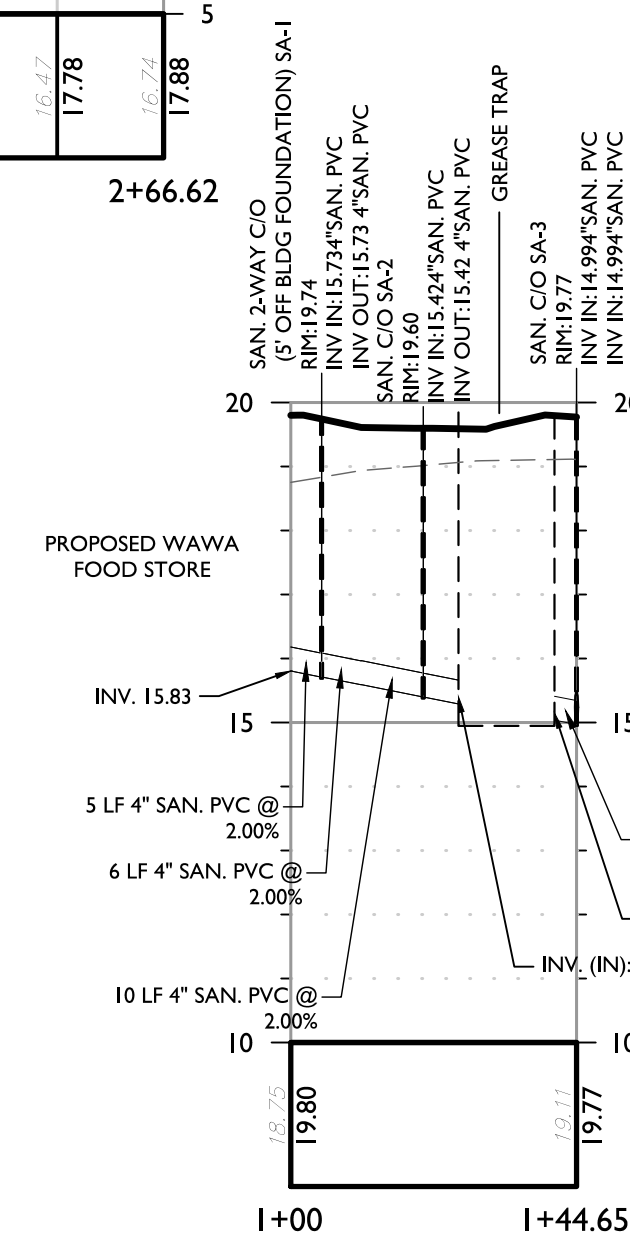
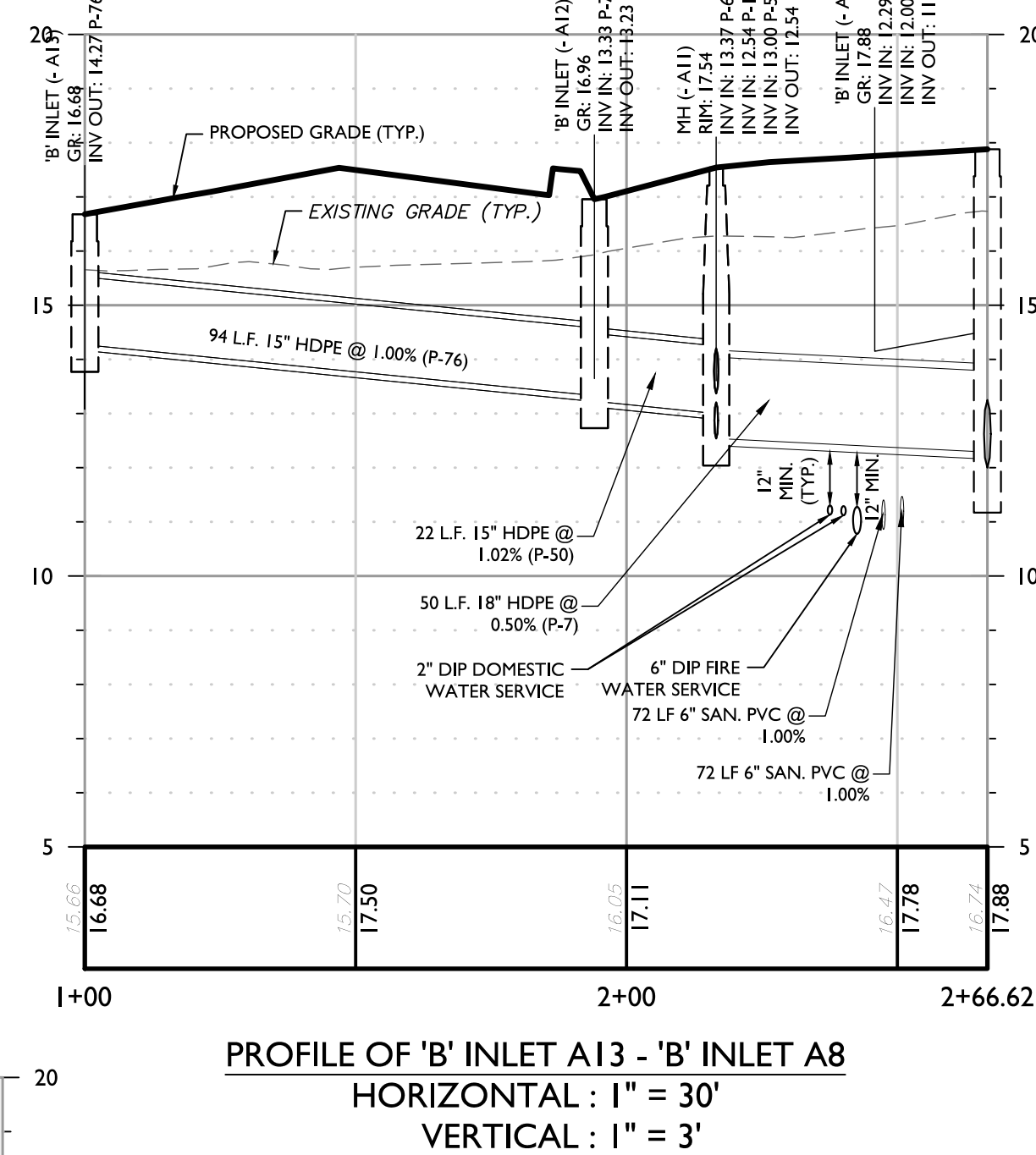
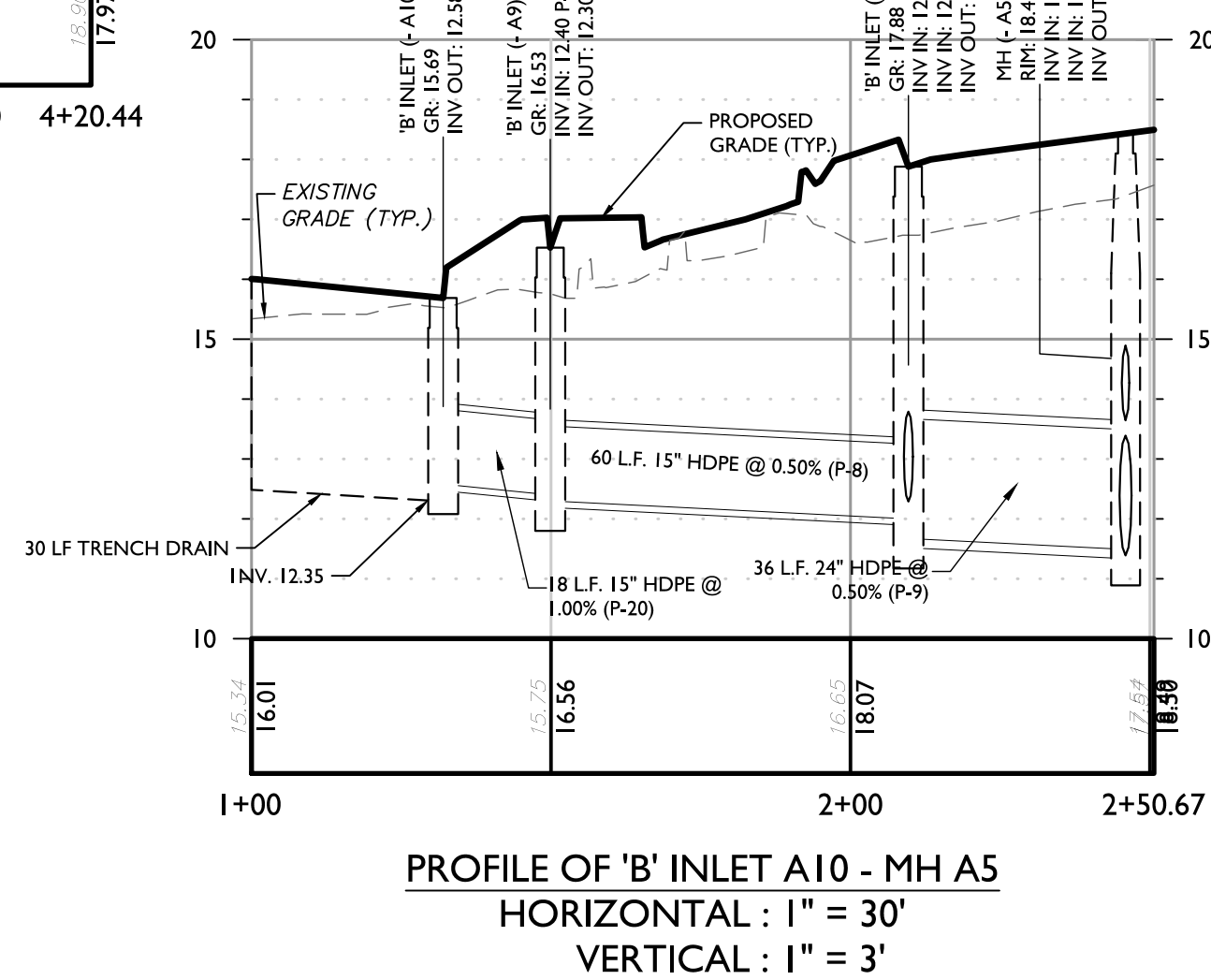
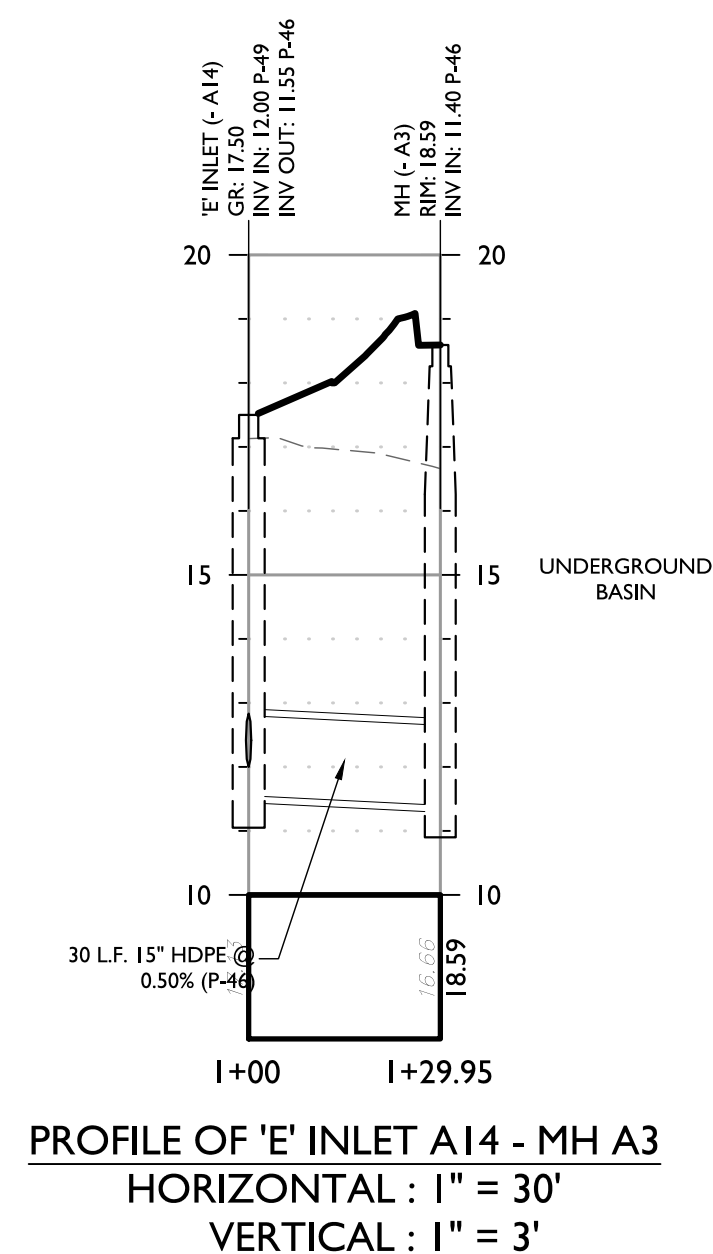
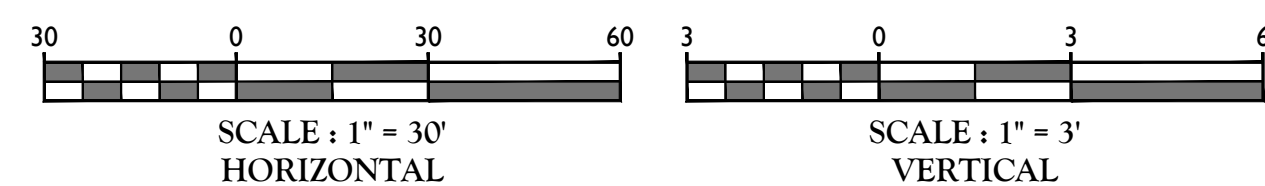
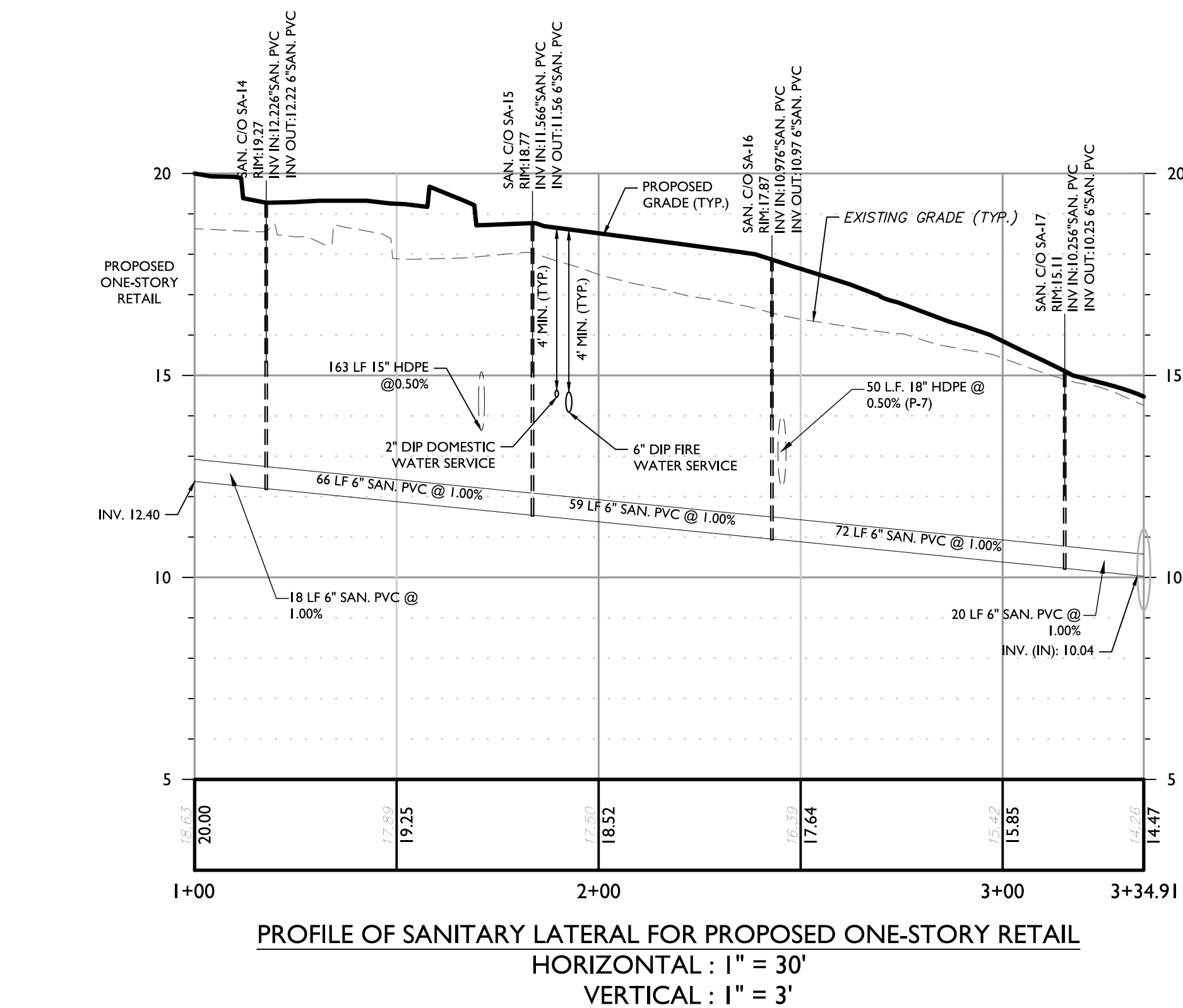
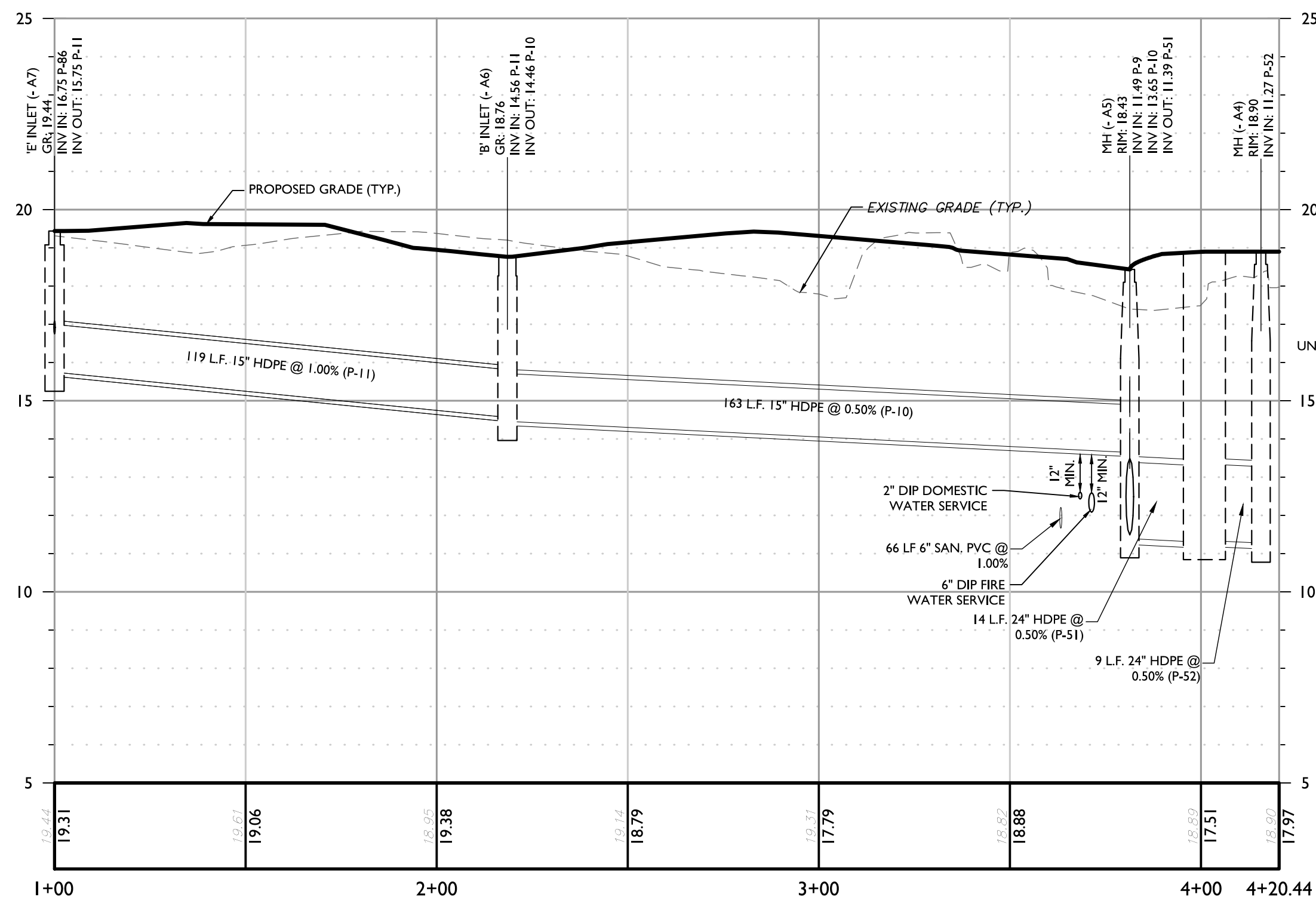
GRADING PLAN

SHEET NUMBER:  
4 of 20


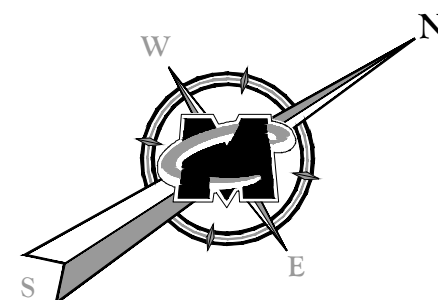












**RAYMOND C. LIOTTA**  
NEW JERSEY LICENSED  
LANDSCAPE ARCHITECT - LICENSE NUMBER: AS0003



LANDSCAPE NOTES	
1. THIS PLAN IS TO BE USED FOR LANDSCAPING PURPOSES ONLY.	PLANTING NOTES
2. CONTRACTOR IS TO EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF ALL UTILITIES, STRUCTURES, ETC. AND NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES OR CONFLICTS ARE DISCOVERED PRIOR TO PLANTING.	1. SOIL MUST BE FROST FREE, FRIABLE AND NOT MUDDY AT THE TIME OF PLANTING.
3. IN THE EVENT THAT DISCREPANCIES EXIST BETWEEN THE PLAN AND THE PLANTING SCHEDULE, THE PLAN SHALL SUPERSEDE.	2. BACKFILL FOR PLANTING SHALL BE COMPOSED OF 70% NATIVE TOPSOIL, 20% SCREENED TOPSOIL AND 10% PEAT MOSS OR ORGANIC COMPOST. TOPSOIL SHALL MEET CURRENT NJDOT SPECIFICATIONS AND SHALL CONTAIN NO ACIDIC MARL, LARGE STONES OR DEBRIS.
4. ALL PLANTING MATERIALS AND METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE MUNICIPAL ORDINANCE AND ANSI Z-60.1 (CURRENT VERSION), THE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, EXCEPT THAT IN THE EVENT OF CONFLICT BETWEEN THE STANDARDS, THE MORE STRINGENT STANDARD SHALL APPLY.	3. BACKFILL FOR PLANTING PITS SHALL BE PLACED IN 6" LAYERS. EACH LIFT IS TO BE THOROUGHLY WATERED AND ALLOWED TO SETTLE.
5. ALL LANDSCAPING SHALL BE PLANTED IN A MANNER THAT WILL NOT INTERFERE WITH UTILITY LINES, SIGHT TRIANGLES, PUBLIC WALKWAYS, STREETS, OR OTHER EXISTING OR PROPOSED STRUCTURES.	4. PLANTS SHALL BE SET TO ULTIMATE FINISHED GRADE SO THAT THEY WILL BE LEFT IN THE SAME RELATIONSHIP TO THE SURROUNDING GROUND AS THEY HAD PRIOR TO BEING DUG. IF EVIDENCE OF POOR DRAINAGE CONDITIONS EXISTS, PLANTS SHALL BE SET SO THAT THE ROOT CROWN IS APPROXIMATELY 3" ABOVE THE SURROUNDING GRADE.
6. EXCEPT FOR SHADE TREES, ALL PLANT MATERIAL PLANTED WITHIN A REQUIRED SIGHT TRIANGLE OR SIGHT DISTANCE SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT ROADWAY.	5. UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED.
7. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES OR WITHIN A REQUIRED SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-0" ABOVE GRADE AND MUST BE APPROPRIATELY PRUNED.	6. ALL PLANT MATERIAL SHALL BE INSTALLED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED.
8. SEE "SOIL EROSION AND SEDIMENT CONTROL" PLAN FOR THE LOCATION OF ALL TREE PROTECTION FENCING.	7. ALL PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS AND CLEAN-UP.
9. THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITION CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PROPOSED PLANT MATERIAL.	8. B & B PLANTS SHALL BE HANDLED FROM THE ROOT BALL ONLY. PLANTS WITH BROKEN, SPLIT OR DAMAGED ROOTBALLS WILL BE REJECTED.
10. ALL DISTURBED AREAS BEYOND THE LIMITS OF THE MULCHED PLANTING BEDS LABELED AS LAWN SHALL BE PERMANENTLY STABILIZED WITH SEED PER THE SOIL EROSION AND SEDIMENT CONTROL PLAN UNLESS SO IS SPECIFIED ON THE PLAN OR REQUESTED BY THE OWNER.	9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY MARK OUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
11. PLANTING LOCATIONS SHOWN ARE APPROXIMATE. IN GENERAL, PLANTS ARE TO BE PLANTED AT INTERVALS, WHICH WILL ALLOW THEM TO FULLY DEVELOP INTO CONTINUOUS MASSES OF THE INDIVIDUAL SPECIES. NO PRUNING TO SHAPE OR SHEARING IS REQUIRED OR DESIRABLE.	10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TREE GUYS, STAKES, SUPPORTS AND MULCH RINGS OR BEDS DURING THE CONSTRUCTION AND GUARANTEE PERIOD.
PLANT MATERIAL	11. ALL PLANTS SHALL BE SET PLUMB AND STRAIGHT AND SHALL BE PLACED IN THE CENTER OF THE PLANTING PIT.
1. NO PLANT SUBSTITUTIONS SHALL BE ALLOWED WITH REGARD TO SIZE, SPECIES, OR NAMED VARIETY WITHOUT PRIOR PERMISSION FROM THE LANDSCAPE ARCHITECT AND APPROVING AUTHORITY.	12. THE CORD BINDING ALL B & B PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP, FROM THE UPPER 1/3 OF THE ROOT BALL. ALL WIRE BASKETS SHALL BE REMOVED.
2. ALL PLANTS SHALL BE DUG, PACKED, TRANSPORTED AND HANDLED WITH UTMOST CARE TO ENSURE ADEQUATE PROTECTION FROM INJURY AND DESICCATION.	13. ALL PROPOSED TREES SHALL BE MULCHED TO THE LIMIT OF THEIR PLANTING PITS.
3. ALL PLANT MATERIAL SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED ROOTS AND BRANCHES AND BE FREE FROM DEFECTS AND INJURIES.	14. ALL SHRUBS SHALL BE SET IN CONTINUOUS PLANT BEDS RATHER THAN ISOLATED INDIVIDUALS, AND SHALL BE MULCHED, TO THE LIMITS OF THE PLANTING BED, WITH A 3" TO 4" THICK LAYER OF SHREDDED HARDWOOD MULCH, FREE FROM ANY OBJECTIONABLE OR FOREIGN MATERIAL.
4. UNLESS OTHERWISE SPECIFIED, ALL TREES SHALL CONTAIN A SINGLE TRUNK OR LEADER.	15. NO MULCH IS TO BE PLACED WITHIN 4" OF TREE TRUNKS.
5. QUALITY AND SIZE OF PLANTS, INCLUDING ROOT SIZE, SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK", ANSI Z60.1 (MOST RECENT) AS PUBLISHED BY THE AMERICAN ASSOCIATES OF NURSERYMAN.	16. ALL TREES ARE TO BE PLANTED A MINIMUM OF 10 FEET FROM UNDERGROUND UTILITIES.
6. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, FREE FROM DISEASE AND INFESTATION AND BEAR ALL LEGALLY REQUIRED AGRICULTURAL CERTIFICATIONS.	MAINTENANCE NOTES
7. UPON DELIVERY TO THE SITE, ALL PLANTS SHALL BE TAGGED WITH A DURABLE, WEATHER RESISTANT LABEL THAT INDICATES THE GENUS, SPECIES AND VARIETY OF CULTIVAR.	1. ALL GRASS AREAS ARE TO BE MAINTAINED AT A CUT HEIGHT OF 2.5- 3". THE CUT SHALL NOT REMOVE MORE THAN 1/3 OF THE GRASS BLADE HEIGHT. LIME FERTILIZER AND OTHER SOIL AMENDMENTS SHALL BE APPLIED AT REGULAR INTERVALS BASED UPON SOIL TESTS AND RECOMMENDATIONS FROM A CERTIFIED SOIL TESTING LAB. ALL APPLICATIONS SHALL BE MADE BY TRAINED AND LICENSED PERSONNEL IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND NOTICE.
8. PRIOR TO PLANTING, ALL TREES AND SHRUBS SHALL BE PRUNED TO ELIMINATE ALL DEAD, DAMAGED OR CONFLICTING BRANCHES. PRUNING CUTS SHALL BE POSITIONED JUST OUTSIDE THE BRANCH COLLAR AND THE BOTTOM OF THE CUT SHALL BE SLANTED SLIGHTLY AWAY FROM THE TRUNK.	2. ALL PLANTING BEDS SHALL BE EDGED WITH A 3-4" DEEP "V" GROOVE BETWEEN THE BED AND ADJACENT LAWN AREA. ALL MULCH SHALL BE REPLENISHED TO MAINTAIN A 3-4" THICK LAYER UNLESS THE GROUND COVER OR PLANTING HAS COMPLETELY COVERED THE SURFACE OF THE PLANTING BED.
9. ALL PLANTS SHALL BE DELIVERED TO THE SITE IN A HEALTHY, GROWING CONDITION WITH ROOTBALLS INTACT.	3. ALL PLANTING BEDS SHALL BE MAINTAINED FREE OF WEEDS.
10. TREES SHALL BE GUARANTEED FOR A PERIOD OF AT LEAST 2 YEARS AND SHRUBS FOR A MINIMUM OF 2 GROWING SEASONS FROM THE DATE OF ACCEPTANCE. AT THE END OF THE GUARANTEE PERIOD, ALL PLANTS SHALL BE IN A VIGOROUS GROWING CONDITION. ALL PLANTS IN DEAD OR DYING CONDITION SHALL BE REPLACED BY THE CONTRACTOR AT THE BEGINNING OF EACH PLANTING SEASON.	4. PLANTS SHALL BE PERIODICALLY PRUNED OF DEAD, DAMAGED OR DISEASED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN A MANNER THAT WILL MAINTAIN THE NATURAL GROWTH HABIT OF THE PLANT. FLOWERING TREES AND SHRUBS SHALL BE PRUNED AFTER THE FLOWERING SEASON FOR THE RESPECTIVE PLANT.
11. PLANTS SHALL NOT BE BOUND AT ANY TIME WITH WIRE OR ROPE AS TO DAMAGE THE BARK AND/OR BRANCHES.	5. ALL PLANTS SHALL BE WATERED IN ACCORDANCE WITH SOUND HORTICULTURAL PRACTICE.
12. PLANTS CONTAINING SYNTHETIC, NON-BIODEGRADABLE ROOTBALL WRAPS WILL NOT BE ACCEPTED.	6. HERBICIDES AND PESTICIDES SHOULD ONLY BE APPLIED AS NECESSARY TO ADDRESS SPECIFIC PROBLEMS. ALL TREATMENTS SHALL BE PERFORMED BY A TRAINED AND LICENSED APPLICATOR.
	7. ALL PAVEMENT SHALL BE MAINTAINED FREE OF LITTER, GRASS CLIPPINGS, STAINS, SNOW AND ICE AND OTHER DEBRIS.
	8. ALL DEAD OR UNHEALTHY PLANTS SHALL BE REPLACED AS NECESSARY DURING THE FIRST AVAILABLE GROWING SEASON.
	9. ALL TREE GUYS AND STAKES SHALL BE REMOVED BY THE CONTRACTOR 1-YEAR AFTER FINAL ACCEPTANCE.

## STANDARD FOR PERMANENT STABILIZATION WITH SOD

DEFINITION		
ESTABLISHING PERMANENT VEGETATION USING SOD.		
PURPOSE		
TO PERMANENTLY STABILIZE TOPSOIL WITH AN IMMEDIATE AESTHETIC COVERING, THUS ASSURING CONSERVATION OF SOIL AND WATER AND TO ENHANCE THE ENVIRONMENT.		
WATER QUALITY ENHANCEMENT		
PROVIDES AN IMMEDIATE, PERMANENT VEGETATIVE COVER TO THE SOIL FROM THE IMPACTS OF WIND OR RAIN AND PREVENTS SOIL AND NUTRIENT LOSSES TO STREAMS AND OTHER STORMWATER CONVEYANCES FROM STORMWATER RUNOFF.		
WHERE APPLICABLE		
ON EXPOSED SOILS THAT HAVE A POTENTIAL FOR CAUSING OFF-SITE ENVIRONMENTAL DAMAGE WHERE AN IMMEDIATE, PERMANENT VEGETATIVE COVER IS DESIRED. MOISTURE IS REQUIRED FOR SUCCESS; ACCESS TO IRRIGATION IS ESSENTIAL.		
METHODS AND MATERIALS		
LIMESTONE APPLICATION RATE BY SOIL TEXTURE		
SOIL TEXTURE	TONS/ACRE	LBS./1000 SQ. FT.
CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL	3	135
SANDY LOAM, LOAM, SILT LOAM	2	90
LOAMY SAND, SAND	1	45
1. PULVERIZED DOLOMITIC LIMESTONE IS PREFERRED FOR MOST SOILS SOUTH OF THE NEW BRUNSWICK-TRENTON LINE		
B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM, FINE SEEDBED IS PREPARED.		
C. REMOVE FROM THE SURFACE ALL OBJECTS THAT WOULD PREVENT GOOD SOD TO TOPSOIL		

## METHODS AND MATERIALS

1. SITE PREPARATION
  - A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR LIMING, FERTILIZING AND SOIL PREPARATION. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
2. SOIL PREPARATION
  - A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET USING 10-20-10 OR EQUIVALENT WITH 60% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. APPLY LIMESTONE AT THE RATE OF 2 TONS/ACRE UNLESS SOIL TESTING INDICATES OTHERWISE. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES. TABLE 6-1 IS A GENERAL GUIDELINE FOR LIMESTONE APPLICATION RATES.

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## TREE PROTECTION SPECIFICATIONS

1. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE ANY EXISTING VEGETATION OR AREA SPECIFICALLY EXCLUDED OR EXCEPTED FROM THE CONTRACT AND WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE OCCURRING DURING THE COURSE OF WORK UNDER CONSTRUCTION. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, MAKE ANY AND ALL REPAIRS AS REQUIRED TO RESTORE TO THE ORIGINAL CONDITION ANY AREA OR VEGETATION SO DAMAGED.
2. EXISTING TREES AND VEGETATION NOT DESIGNATED FOR REMOVAL SHALL BE LEFT IN PLACE AND PROTECTED FROM EQUIPMENT DAMAGE OR INJURY DURING CONSTRUCTION USING SNOW FENCING PER THE TREE PROTECTION DETAILS. NO MATERIAL SHALL BE STORED OR CONSTRUCTION OPERATION CARRIED ON WITHIN THE CANOPY AREA OF ANY TREE THAT IS TO REMAIN. ALL AREAS REQUIRED FOR SEWER, UTILITY AND SERVICE LINES SHALL BE CLEARED USING AS NARROW A WIDTH AS POSSIBLE FOR THE EXCAVATION, BACKFILL AND INSTALLATION WORK TO PROCEED. PARTICULAR CARE SHALL BE TAKEN IN THE USE OF HEAVY MACHINERY DURING EXCAVATION OPERATIONS TO PREVENT INJURY TO ROOTS AND BRANCHES.
3. THE CONTRACTOR SHALL EMPLOY ADDITIONAL PERSONNEL TO PROTECT THE LIMBS AND THE ROOTS, WHERE EXISTING TREES ARE TO REMAIN OUTSIDE THE AREA OF WORK HAVE DIAPHRAGM EQUIPMENT OVER THE ROOT ZONES OF TREES TO BE REMOVED IN THE AFFECTED AREA IF DEEMED NECESSARY. NOTIFY THE OWNER'S REPRESENTATIVE OF THE SCHEDULED DATE 1 WORKING DAY BEFORE THE SCHEDULED DATE.
4. TREE LIMBS DAMAGED DURING CONSTRUCTION SHALL NOT BE USED FOR ROPING, CABLES, ETC.
5. THE CONTRACTOR SHALL SLOPE OR WRAP THE GRADES SHALL BE SLOPED FROM THE EDGE OF THE EXCAVATION TO ABRUPT GRADE CHANGES TO MINIMIZE DISTURBANCE TO THE SURROUNDING AREA.
6. WHERE SIDEWALK, CURB, CURB AND GUTTER ARE TO BE INSTALLED, THE CONTRACTOR SHALL WHERE TREE ROOTS 2 INCH OR GREATER IN DIAMETER ARE LOCATED, THE OWNER'S REPRESENTATIVE WHO WILL BE NOTIFIED.

THE CONTRACTOR MAY PROPOSE ALTERNATE METHODS OF INSTALLING UTILITIES UNDER AN EXISTING ROOT SYSTEM WHEN WORK IS WITHIN THE DRIP LINE OF THE TREE. WHEN THE CONTRACTOR FORESEES CONSTRUCTION OPERATIONS WHERE IMPACT TO ROOTS AND/OR LIMBS CANNOT BE AVOIDED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AT LEAST 5 WORKING DAYS IN ADVANCE. LOW LIMBS THAT WILL INTERFERE WITH THE CONTRACTOR'S EQUIPMENT SHALL BE TRIMMED. BEFORE TRIMMING ANY TREES, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF THE PROPOSED METHOD AND THE AMOUNT OF TRIMMING REQUIRED. TRIMMING SHALL BE DONE BY A PROFESSIONAL TREE SERVICE COMPANY IN ACCORDANCE WITH ANSI A-300-LAST EDITION FOR TREE CARE OPERATIONS.

## LANDSCAPE PLANTING DETAILS

Diagram illustrating the planting details for a Deciduous Tree. The tree is shown in a planting pit with a 18" diameter. The pit is filled with prepared backfill, and the tree is secured with a 2" x 4" stake and a 1/2" wire. The pit is surrounded by a 4" mulch layer. The tree is supported by a 2" x 4" stake and a 1/2" wire. The pit is surrounded by a 4" mulch layer. The tree is supported by a 2" x 4" stake and a 1/2" wire. The pit is surrounded by a 4" mulch layer.

- NEVER CUT OR PRUNE CENTRAL LEADER OR TRUNK
- PRUNE FOR VIGOR, MAINTAIN NATURAL GROWTH HABIT
- SET TREE PLUMB
- DRIVE STAKES AT ANGLE AND DRAW TO VERTICAL
- 2" Ø HARDWOOD OR CEDAR STAKES 3 @ 120" (REMOVE AFTER FIRST FULL GROWING YEAR)
- #12 WIRE DOUBLE GALV. WIRE
- REINFORCED RUBBER HOSE LOOP
- 4" MULCH LAYER
- FORM SAUCER AROUND PLANTING PIT OR BED
- PREPARED BACKFILL: AS SPECIFIED PLACE IN LIFTS AS REQ'D. REMOVE CORD AND BURLAP AS REQ'D.
- TAMP IN LIFTS TO PREVENT AIR POCKETS. SOAK BACKFILL AFTER PLANTING
- COMPACTED OR UNDISTURBED SOIL

Diagram illustrating the planting details for a Coniferous Tree. The tree is shown in a planting pit with a 18" diameter. The pit is filled with prepared backfill, and the tree is secured with a 2" x 4" stake and a 1/2" wire. The pit is surrounded by a 4" mulch layer. The tree is supported by a 2" x 4" stake and a 1/2" wire. The pit is surrounded by a 4" mulch layer. The tree is supported by a 2" x 4" stake and a 1/2" wire. The pit is surrounded by a 4" mulch layer.

- NEVER CUT OR PRUNE CENTRAL LEADER OR TRUNK
- SET TREE PLUMB
- PRUNE FOR VIGOR, MAINTAIN NATURAL GROWTH HABIT
- REMOVE BURLAP AND CORD FROM TOP 1/3 OF ROOTBALL
- DRIVE STAKES AT ANGLE AND DRAW TO VERTICAL
- #12 WIRE DOUBLE GALV. WIRE
- 2" Ø HARDWOOD OR CEDAR STAKES 3 @ 120" (REMOVE AFTER FIRST FULL GROWING YEAR)
- 4" MULCH LAYER
- FORM SAUCER AROUND PLANTING PIT OR BED
- PREPARED BACKFILL: AS SPECIFIED PLACE IN LIFTS AS REQ'D.
- COMPACTED OR UNDISTURBED SOIL

NOTE: BALL OF ALL PLANTS TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO PLANTING.

### DECIDUOUS TREE PLANTING

N.T.S.

### CONIFEROUS TREE PLANTING

N.T.S.

## TREE PROTECTION SPECIFICATIONS

<p>1. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE ANY EXISTING VEGETATION OR AREA SPECIFICALLY EXCLUDED OR EXCEPTED FROM THE CONTRACT AND WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE OCCURRING DURING THE COURSE OF WORK UNDER CONSTRUCTION. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, MAKE ANY AND ALL REPAIRS AS REQUIRED TO RESTORE TO THE ORIGINAL CONDITION ANY AREA OR VEGETATION SO DAMAGED.</p> <p>2. EXISTING TREES AND VEGETATION NOT DESIGNATED FOR REMOVAL SHALL BE LEFT IN PLACE AND PROTECTED FROM EQUIPMENT DAMAGE OR INJURY DURING CONSTRUCTION USING SNOW FENCING PER THE TREE PROTECTION DETAILS. NO MATERIAL SHALL BE STORED OR CONSTRUCTION OPERATION CARRIED ON WITHIN THE CANOPY AREA OF ANY TREE THAT IS TO REMAIN. ALL AREAS REQUIRED FOR SEWER, UTILITY AND SERVICE LINES SHALL BE CLEARED USING AS NARROW A WIDTH AS POSSIBLE FOR THE EXCAVATION, BACKFILL AND INSTALLATION WORK TO PROCEED. PARTICULAR CARE SHALL BE TAKEN IN THE USE OF HEAVY MACHINERY DURING EXCAVATION OPERATIONS TO PREVENT INJURY TO ROOTS AND BRANCHES.</p> <p>THE CONTRACTOR MAY PROPOSE ALTERNATE METHODS OF INSTALLING UTILITIES UNDER AN EXISTING ROOT SYSTEM WHEN WORK IS WITHIN THE DRYLINE OF THE TREE. WHEN THE CONTRACTOR FORESEES CONSTRUCTION OPERATIONS WHERE IMPACT TO ROOTS AND/OR LIMBS CANNOT BE AVOIDED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE AT LEAST 5 WORKING DAYS IN ADVANCE. LOW LIMBS THAT WILL INTERFERE WITH THE CONTRACTOR'S EQUIPMENT SHALL BE TRIMMED. BEFORE TRIMMING ANY TREES, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF THE PROPOSED METHOD AND THE AMOUNT OF TRIMMING REQUIRED. TRIMMING SHALL BE DONE BY A PROFESSIONAL TREE SERVICE COMPANY IN ACCORDANCE WITH ANSI A-300-LATEST EDITION FOR TREE CARE OPERATIONS.</p>	<p>3. THE CONTRACTOR SHALL EMPLOY ADDITIONAL PERSONNEL TO PROTECT THE EXISTING TREES, THE LIMBS AND THE ROOTS, WHERE EXISTING TREES ARE LOCATED OUTSIDE THE AREA OF WORK HAVE DRIPLINE EQUIPMENT OVER THE ROOT ZONES OF TREES WITHIN THE DRYLINE OF TREES IN THE AFFECTED AREA IF DEEMED NECESSARY. NOTIFY THE OWNER'S REPRESENTATIVE OF 1 WORKING DAY BEFORE THE SCHEDULED A</p> <p>A. ADDITIONAL TEMPORARY CONSTRUCTION BARRIERS TO BE USED FOR PROTECTING THE TREE.</p> <p>B. TEMPORARY TIE-UP OF LOW LIMBS.</p> <p>C. APPLICATION OF A 4 TO 6 INCH LAYER OF MULCH WITHIN THE DRYLINE OF THE TREE.</p> <p>D. TIMBER OR STEEL PLANKING FOR PROTECTING THE TREE.</p> <p>E. TREE ROOT PRUNING OR OTHER TREE CARE OPERATIONS.</p> <p>F. TREE LIMBS DAMAGED DURING CONSTRUCTION SHALL NOT BE USED FOR ROPING, CABLES, OR OTHER PURPOSES.</p> <p>5. THE CONTRACTOR SHALL SLOPE OR WRAP PLYWOOD GRADING SHEETS TO PROTECT THE GRADING GRADES SHALL BE SLOPED FROM THE EDGE OF THE GRADING TO MINIMIZE DISTURBANCE.</p> <p>6. WHERE SIDEWALK, CURB, CURB AND GUTTER OR OTHER EXISTING FEATURES ARE LOCATED WITHIN THE TREE ROOTS 2 INCH OR GREATER IN THE OWNER'S REPRESENTATIVE WHO WILL</p>
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### CONIFEROUS TREE PLANTING

### SHRUB PLANTING DETAIL

## TEMPORARY TREE PROTECTION DETAILS

PLAN  
N.T.S.

ELEVATION  
N.T.S.

<u>WOODLAND FENCE PLAN</u> N.T.S.	AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN
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## (WAWA) LANDSCAPE NOTES

1. ALL TOPSOIL SHALL BE A MINIMUM 4" AT ALL SOD AREAS AND 8" IN TREE, SHRUB AND PLANTING BEDS, INCLUDING PARKING LOT ISLANDS AND BEDS. IT SHALL BE APPROVED BY A WAWA CONSTRUCTION REPRESENTATIVE, PRIOR TO INSTALLATION.
2. PLANTING BEHIND PERPENDICULAR PARKING IS TO BE LOCATED A MINIMUM OF 5' BEHIND THE CURB LINE.
3. ALL LANDSCAPE AND GRASS AREAS ARE TO BE HAND RAKED AND LEFT CLEAR OF ALL STONES, ROCK, CONSTRUCTION DEBRIS AND ANY UNSUITABLE MATERIALS.
4. ALL LANDSCAPE AND GRASS AREAS ARE TO BE IRRIGATED BY AUTOMATIC SPRINKLER SYSTEM. (SEE IRRIGATION SPECIFICATION.)
5. LANDSCAPE CONTRACTOR WILL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND PLANTING INSTALLATION.
6. ALL AREAS TO BE LANDSCAPED OR COVERED WITH STONE MUST BE TREATED WITH A PRE-EMERGENCE HERBICIDE (SURFLIN, DACTAL, OR APPROVED EQUAL) IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE REGULATIONS AND THE MANUFACTURER'S INSTRUCTIONS.
7. LANDSCAPE CONTRACTOR TO SUPPLY AND INSTALL A PERVIOUS WEED BARRIER (DEWITT, DUNT OR APPROVED EQUAL) IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITHIN ALL LANDSCAPES, INCLUDING STONE AND MULCH BEDS. ALL WEED BARRIER WILL BE OVERLAPPED A MINIMUM OF 6" AT ALL SEAMS. AT PLANT LOCATIONS, BARRIER SHOULD BE CUT IN AN "X" PATTERN SO TO ACCOMMODATE ROOT BALL AND REPLACED AFTER PLANT HAS BEEN INSTALLED.
8. WEED BARRIER SHALL NOT BE VISIBLE IN AREAS DESIGNATED FOR STONE MULCH. WHEN STONE IS CALLED FOR ADJACENT TO CURB OR SIDEWALKS, IT SHALL BE FEATHERED DOWN TO CURB LEVEL FROM A DISTANCE 24" FROM THE CURB.
9. ALL PROPOSED LANDSCAPING TO BE NURSERY GROWN, TYPICAL OF THEIR SPECIES OR VARIETY, NORMAL WIGTH, WITHOUT ROOT SYSTEMS, FREE FROM DEFECTS AND INFECTIONS AND IN ACCORDANCE WITH ANSI Z60.1
10. ALL PROPOSED PLANTINGS SHOULD BE INSTALLED PER STANDARDS OF THE "AMERICAN ASSOCIATION OF NURSERYMEN" AND STATE NURSERY/ LANDSCAPE ASSOCIATIONS WITH REGARD TO PLANTING, PIT SIZE, BACKFILL MIXTURE, STAKING AND GUYING.
11. ALL PLANTING CONTAINERS AND BASKETS SHALL BE REMOVED DURING PLANTING. ALL PLANTS SHALL BE SET PLUMS AND POSITIONED SO THAT THE TOP OF THE ROOT COLLAR LAYERS AND COMPACT BACKFILL TO ELIMINATE VOIDS. CONTRACTOR SHALL PROVIDE A FOUR-INCH HIGH EARTHEN WATERING SAUCER ALONG THE PERIMETER OF EACH PLANTING PIT. CONTRACTOR SHALL PROVIDE PLANTED VEGETATION PRIOR TO MULCHING PLANTING PIT. ALL VOIDS SHALL BE FILLED AND SETTLING MITIGATED AS REQUIRED. ALUMINUM EDGING SHALL BE INSTALLED AROUND ALL PLANTING AREAS TO DELINEATE BETWEEN DIFFERENT LANDSCAPE MATERIALS.
12. AFTER INITIAL WATERING AND PRIOR TO MULCHING, CONTRACTOR SHALL APPLY HERBICIDES AND PRE-EMERGENCE HERBICIDES AS REQUIRED TO ELIMINATE ANY WEED SEEDS OR PLANTS PRESENT ON ROOT COLLAR.
13. ALL PLANTING BEDS AND PIT EXCEPT FOR LANDSCAPE ISLANDS ADJACENT TO THE BUILDING AND DESIGNATED AREA AT THE FUEL VENT STACKS, SHALL BE MULCHED WITH DOUBLE GRADED HARDWOOD MULCH AT A MINIMUM DEPTH OF 3". LANDSCAPE ISLANDS ADJACENT TO DESIGNATED AREA AT FUEL STACKS SHALL BE MULCHED WITH 1" 9" RIVER STONE. MULCH, FOR LANDSCAPES ADJACENT TO BUILDING, CONTACT PROJECT ENGINEER
14. SEEDBED PREPARATION
- A. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS OR FERTILIZER MAY BE APPLIED AT THE RATE OF 100 LBS PER ACRE OR 100 LBS PER 1000 SQUARE FEET USING 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 4-1-2 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOPDRESSING.
- B. WORK LIME AND FERTILIZER INTO THE SOIL AS PRACTICAL TO A DEPTH OF 4-INCHES WITH A DISC, SPRING TROW HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISHING OPERATION SHOULD BE DONE PARALLEL TO THE GRAD LINE TO CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROULLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS OUTLINED ABOVE.
- D. GRASS SEEDING MIXTURE AND APPLICATION RATE:
- | PERCENTAGE OF APPLICATION<br>TOTAL WEIGHT RATE | SEED TYPE                                 | MINIMUM GERMINATION<br>ALLOWED |
|--|---|--------------------------------|
| 50%  | 57 LBS/1000 S.F. "REBEL" TALL FESCUE      | 90-96                          |
| 35%  | 35 LBS/1000 S.F. "STREKKER" PERENNIAL RYE | 90-92                          |
| 15%  | 15 LBS/1000 S.F. "STREKKER" RYE           | 90-92                          |
- E. IN AREAS DESIGNATED AS SOD, FESCUE SOD IS TO BE INSTALLED ON MINIMUM 4" TOPSOIL. AREAS TO BE SODDED ARE TO BE PREPARED AS NOTED ABOVE FOR SEEDED AREAS.
15. PLANT MATERIAL SHALL BE GUARANTEED FOR TWO YEARS FROM THE DATE OF SUBSTANTIAL COMPLETENESS. THE CONTRACTOR SHALL REPLACE PLANTS, DEAD, UNHEALTHY, DYING OR DAMAGED THROUGHOUT THE TERM OF THE GUARANTEE PERIOD. LAWNMS THAT ARE NOT IN GOOD CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REPAIRED UNTIL A GOOD LAWN RESULTS. IT IS UNDERSTOOD THAT THE OWNER SHALL ASSUME RESPONSIBILITY FOR WATERING ALL PLANT MATERIAL AND LAWN AREA BEGINNING WITH THE DATE OF SUBSTANTIAL COMPLETENESS.
16. ALL PARKING STALL PLANTINGS TO BE SET BACK 5' FROM CURB WHERE FEASIBLE.
17. PLANTINGS TO BE SET BACK 10' FROM UNDERGROUND UTILITIES WHERE FEASIBLE.
18. AT TIME OF PARKING LOT CONSTRUCTION AND PLANTER INSTALLATION, ALL PLANTER ISLANDS SHALL BE EXCAVATED TO THE FULL WIDTH OF THE PARKING PLANTER ISLAND AND THROUGH THE FULL DEPTH OF COMPACT SUBGRADE TO REMOVE ALL COARSE SAND, OR OTHER MATERIAL HARMFUL TO PLANT HEALTH, AND BACKFILLED WITH CLEAN PLANTING FILL.

<p>SITE SPECIFIC DETAILS</p>	<p>FOR WAWA LINDEN</p>
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**TREE SLOPE PLANTING DETAIL**  
N.T.S.

**TREE SLOPE PLANTING DETAIL**  
N.T.S.

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**RAYMOND C. LIOTTA**  
NEW JERSEY LICENSED  
LANDSCAPE ARCHITECT - LICENSE NUMBER: AS00036


AMENDED PRELIMINARY  
AND FINAL MAJOR  
SITE PLAN

FOR  
WAWA LINDEN



BLOCK 436 LOT 11.01

CITY OF LINDEN  
UNION COUNTY  
NEW JERSEY



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Phone: 732.383.1950  
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SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	3/20/2020	BJB	REG
PROJECT NUMBER:		DRAWING NAME:	
15002372A		C-LAND	

SHEET TITLE:

LANDSCAPE NOTES AND  
DETAILS

SHEET NUMBER:  
8 of 20





LUMINAIRE LOCATION SUMMARY		
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35	C1	21.53
36	C1	21.53
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61	W2	8
62	W3	12

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NEW JERSEY PROFESSIONAL  
ENGINEER - LICENSE NUMBER: GE44465

AMENDED PRELIMINARY  
AND FINAL MAJOR  
SITE PLAN  
FOR  
WAWA LINDEN



BLOCK 436 LOT 11.01

CITY OF LINDEN  
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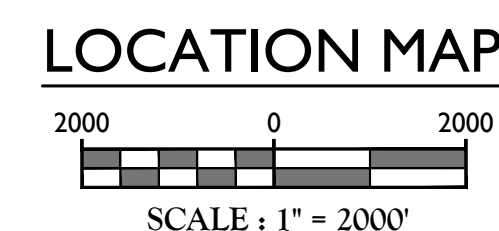
SCALE: AS SHOWN	DATE: 3/20/2020	DRAWN BY: PCS	CHECKED BY: MFG
PROJECT NUMBER: 15002372A		DRAWING NAME: C-LGHT	

## LIGHTING PLAN









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
  
JELENA BALORDA-BARON  
NEW JERSEY PROFESSIONAL  
ENGINEER - LICENSE NUMBER: GE44465

AMENDED PRELIMINARY  
AND FINAL MAJOR  
SITE PLAN  
FOR  
WAWA LINDEN



BLOCK 436 LOT 11.01

CITY OF LINDEN  
UNION COUNTY  
NEW JERSEY



**RED BANK OFFICE**  
Corporate Headquarters  
331 Newman Springs Road  
Suite 203  
Red Bank, NJ 07701  
Phone: 732.383.1950  
Fax: 732.383.1984

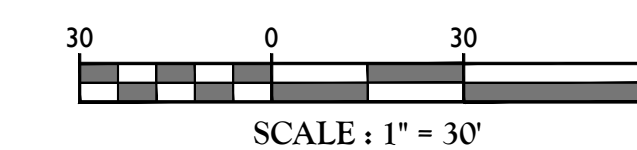
SCALE: AS SHOWN	DATE: 3/20/2020	DRAWN BY: PCS	CHECKED BY: MFG
PROJECT NUMBER: 15002372A		DRAWING NAME: C-SESC	

SHEET TITLE:

SOIL EROSION &  
SEDIMENT CONTROL PLAN

SHEET NUMBER: 11 of 20

TOTAL LIMIT OF DISTURBANCE = 111,035± SF (2.549± AC.)  
THIS PLAN SHALL BE USED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY.





SOMERSET-UNION SOIL CONSERVATION DISTRICT NOTES

MCNJ-SOIL-NOTE-1013	05/01/17
1. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.	
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.	
3. ANY STOCKPILE OR DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS	
4. PERMANENT VEGETATION SHALL BE SEEDDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED	
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.	
6. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.	
7. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS	
8. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1)	
9. TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 5'X30'X6" PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.	
10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL, OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.	
11. IN THAT NJSA 424-39 ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.	
12. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.	
13. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RECERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.	
14. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.	
15. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.	
16. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.	
17. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.	
18. HYDRO SEEDING IS A TWO STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDROMULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDROMULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.	
19. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SOIL TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.	

DUST CONTROL

MCNJ-SOIL-NOTE-1400	05/01/17
<b>DUST CONTROL METHODS:</b>	
1. APPLY MULCHES OR VEGETATIVE COVER AS PER NJ SOIL EROSION AND SEDIMENT CONTROL STANDARDS.	
2. TILL AND ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.	
3. SPRINKLE THE SITE UNTIL THE SURFACE IS WET.	
4. ERECT BARRIERS SUCH AS SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL TO CONTROL AIR CURRENTS AND SOIL BLOWING.	
5. APPLY CALCIUM CHLORIDE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. NOT SUITABLE ON STEEPER SLOPES NEAR THE STREAMS OR POTENTIALLY ACCUMULATE AROUND PLANTS.	
6. COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.	
7. USE SPRAY-ON ADHESIVE ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS. MATERIALS AS FOLLOWS:	

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD, P. 261.		
POLYACRYLAMIDE (PAM) - DRY SPREAD			
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP)

MCNJ-SOIL-NOTE-1200	07/01/17
1. THE CONSTRUCTION SITE WASTE CONTROL COMPONENT OF THE SPPP CONSISTS OF THE REQUIREMENTS IN 2., 3., AND 4. BELOW. THESE REQUIREMENTS BECAME OPERATIVE ON MARCH 3, 2004 AND APPLY TO CONSTRUCTION ACTIVITIES THAT COMMENCE ON OR AFTER MARCH 3, 2004. ANY NEW CONSTRUCTION ACTIVITY FOR WHICH AN RFA IS SUBMITTED ON OR AFTER MARCH 3, 2004 OR WHICH RECEIVE AUTOMATIC RENEWAL OF AUTHORIZATION UNDER THIS PERMIT AFTER MARCH 3, 2004 ALSO SHALL COMPLY WITH THESE REQUIREMENTS.	
2. MATERIAL MANAGEMENT TO PREVENT OR REDUCE WASTE - ANY PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, CLEANING SOLVENTS AND ACIDS, DETERGENTS, CHEMICAL ADDITIVES, AND CONCRETE CURING COMPOUNDS SHALL BE STORED IN CONTAINERS IN A DRY COVERED AREA. MANUFACTURERS' RECOMMENDED APPLICATION RATES, USES, AND METHODS SHALL BE STRICTLY FOLLOWED TO THE EXTENT NECESSARY TO PREVENT OR MINIMIZE THE PRESENCE OF WASTE FROM SUCH MATERIALS IN THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. THE PRECEDING SENTENCE DOES NOT APPLY TO ANY MANUFACTURERS' RECOMMENDATIONS ABOUT FERTILIZER OR OTHER MATERIAL THAT CONFLICT WITH THE EROSION AND SEDIMENT CONTROL COMPONENT OF THE FACILITY'S SPPE.)	
3. WASTE HANDLING - THE FOLLOWING REQUIREMENTS APPLY ONLY TO CONSTRUCTION SITE WASTE THAT HAS THE POTENTIAL TO BE TRANSPORTED BY THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT. THE HANDLING AT THE CONSTRUCTION SITE OF WASTE BUILDING MATERIAL AND RUBBLE AND OTHER CONSTRUCTION SITE WASTES, INCLUDING LITTER AND HAZARDOUS AND SANITARY WASTES, SHALL CONFORM WITH THE STATE SOLID WASTE MANAGEMENT ACT, N.J.S.A. 13:1E-1 ET SEQ., AND ITS IMPLEMENTING RULES AT N.J.A.C. 726. 726A, AND 726G; THE NEW JERSEY PESTICIDE CONTROL CODE AT N.J.A.C. 730; THE STATE LAUL STATUTE (N.J.S.A. 13:1E-99.3); AND OSHA REQUIREMENTS FOR SANITATION AT 29 C.F.R. 1926 (EXCEPT WHERE SUCH CONFORMANCE IS NOT RELEVANT TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT). CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ONSITE OR ADJACENT TO THE SITE, AND AN ADEQUATE NUMBER OF CONTAINERS (WITH LIDS OR COVERS) FOR WASTE. WASTE SHALL BE COLLECTED FROM SUCH CONTAINERS BEFORE THEY OVERFLOW, AND SPILLS AT SUCH CONTAINERS SHALL BE CLEANED UP IMMEDIATELY.	
A. CONSTRUCTION SITE WASTES INCLUDE BUT ARE NOT LIMITED TO:	
i. "CONSTRUCTION AND DEMOLITION WASTE" AS DEFINED IN N.J.A.C. 726-1.4 AS FOLLOWS: "WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM CONSTRUCTION, REMODELING, REPAIR, AND DEMOLITION OPERATIONS ON HOUSES, COMMERCIAL BUILDINGS, PAVEMENTS AND OTHER STRUCTURES. THE FOLLOWING MATERIALS MAY BE FOUND IN CONSTRUCTION AND DEMOLITION WASTE: TREATED AND UNTREATED WOOD SCRAP: TREE PARTS, TREE STUMPS AND BRUSH; CONCRETE, BRICKS, BLOCKS AND OTHER MASONRY; PLASTER AND WALLBOARD; ROOFING MATERIALS; CORRUGATED CARDBOARD AND MISCELLANEOUS PAPER; FERROUS AND NON-FERROUS METAL: NON-ASBESTOS BUILDING INSULATION; PLASTIC SCRAP: DIRT; CARPETS AND PADDING; GLASS (WINDOW AND DOOR); AND OTHER MISCELLANEOUS MATERIALS; BUT SHALL NOT INCLUDE OTHER SOLID WASTE TYPES."	
ii. ANY WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM SUCH OPERATIONS THAT IS HAZARDOUS FOR PURPOSES OF N.J.A.C. 726G (THE HAZARDOUS WASTE RULES).	
iii. DISCARDED (INCLUDING SPILLED) PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS, AND PAINT THINERS, PAINT CHIPS AND SANDBLASTING GRITS, CLEANING SOLVENTS, ACIDS FOR CLEANING MASONRY SURFACES, DETERGENTS, CHEMICAL ADDITIVES USED FOR SOIL STABILIZATION (E.G., CALCIUM CHLORIDE), AND CONCRETE CURING COMPOUNDS.	
iv. OTHER "LITTER," AS DEFINED AT N.J.S.A. 13:1E-215.D AS FOLLOWS: "ANY USED OR UNCONSUMED SUBSTANCE OR WASTE MATERIAL WHICH HAS BEEN DISCARDED WHETHER MADE OF ALUMINUM, GLASS, PLASTIC, RUBBER, PAPER, OR OTHER NATURAL OR SYNTHETIC MATERIAL, OR ANY COMBINATION THEREOF, INCLUDING, BUT NOT LIMITED TO, ANY BOTTLE, JAR OR CAN, OR ANY TOP, CAP OR DETACHABLE TAB OF ANY BOTTLE, JAR OR CAN, ANY UNLIGHTED CIGARETTE, CIGAR, MATCH OR ANY FLAMING OR GLOWING MATERIAL OR ANY GARBAGE, TRASH, REFUSE, DEBRIS, RUBBER, GRASS CLIPPINGS OR OTHER LAWN OR GARDEN WASTE, NEWSPAPERS, MAGAZINES, GLASS, METAL, PLASTIC OR PAPER CONTAINERS OR OTHER PACKAGING OR CONSTRUCTION MATERIAL, BUT DOES NOT INCLUDE THE WASTE OF THE PRIMARY PROCESSES OF MINING OR OTHER EXTRACTION PROCESSES, LOGGING, SAWMILLING, FARMING OR MANUFACTURING."	
v. SANITARY SEWAGE AND SEPTAGE.	
vi. CONTAMINATED SOILS ENCOUNTERED OR DISCOVERED DURING EARTHMOVING ACTIVITIES OR DURING THE CLEANUP OF A LEAK OR DISCHARGE OF A HAZARDOUS SUBSTANCE.	
B. CONCRETE WASHOUT - CONCRETE WASHOUT ONSITE IS PROHIBITED OUTSIDE DESIGNATED AREAS. WASHOUT ACTIVITIES INCLUDE, BUT NOT LIMITED TO, THE WASHING OF TRUCKS, CHUTES, HOSES, MIXERS, HOPPERS, AND TOOLS.	
i. DESIGNATED WASHOUT AREAS SHALL BE LINED AND BERMED TO PREVENT DISCHARGES TO SURFACE AND GROUNDWATER.	
ii. HARDENED CONCRETE FROM THE CONCRETE WASHOUT WASHOUT SHALL BE REMOVED AND PROPERLY DISPOSED OF.	
iii. THE CONCRETE WASHOUT AREA SHALL BE CLEARLY DESIGNATED WITH A SIGN INDICATING THE AREAS USES.	
C. SANITARY SEWAGE/SEPTAGE DISPOSAL - DISCHARGES OF RAW SANITARY SEWAGE OR SEPTAGE ONSITE ARE STRICTLY PROHIBITED. ADEQUATE FACILITIES WITH PROPER DISPOSAL, SHALL BE PROVIDED AND MAINTAINED ONSITE OR ADJACENT TO THE SITE FOR ALL WORKERS AND OTHER SANITARY NEEDS.	
4. SPILLS: DISCHARGES OF HAZARDOUS SUBSTANCES: FEDERALLY REPORTABLE RELEASES.	
A. SPILL KITS SHALL BE AVAILABLE ONSITE OR ADJACENT TO THE SITE FOR ANY MATERIALS THAT ARE LISTED IN 2. ABOVE AND USED OR APPLIED ONSITE. ALL SPILLS OF SUCH MATERIAL SHALL BE CONTAINED AND CLEANED UP IMMEDIATELY. CLEANED UP MATERIALS SHALL BE PROPERLY DISPOSED OF.	
B. DISCHARGES OF HAZARDOUS SUBSTANCES (AS DEFINED IN N.J.A.C. 7:1E-1.6) IN CONSTRUCTION SITE WASTES ARE SUBJECT TO THE PROVISIONS OF THE SPILL COMPENSATION AND CONTROL ACT, N.J.S.A. 58:10-23.11 ET SEQ., AND OF DEPARTMENT RULES FOR DISCHARGES OF PETROLEUM AND OTHER HAZARDOUS SUBSTANCES AT N.J.A.C. 7:1E. NO DISCHARGE OF HAZARDOUS SUBSTANCES RESULTING FROM AN ONSITE SPILL SHALL BE DEEMED TO BE "PURSUANT TO AND IN COMPLIANCE WITH [THIS] PERMIT" WITHIN THE MEANING OF THE SPILL COMPENSATION AND CONTROL ACT AT N.J.S.A. 58:10-23.11.C.	
C. RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RQ) ESTABLISHED UNDER 40 C.F.R. 110.117, AND 302 THAT OCCUR WITHIN A 24-HR PERIOD MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER (800 424-8802).	

SPPP REQUIRED INSPECTIONS AND REPORTS

MCNJ-SOIL-NOTE-1201	09/01/17
<b>A COPY OF THE AUTHORIZATION SHALL BE POSTED ONSITE AT A SAFE, PUBLICLY ACCESSIBLE LOCATION IN CLOSE PROXIMITY OF THE CONSTRUCTION SITE AT ALL TIMES UNTIL A NOTICE OF COMPLETION HAS BEEN ISSUED. THE PERMITTEE SHALL POST THE NJDEP HOTLINE NUMBER (1-877-WARN-DEP) WITH THE COPY OF THE AUTHORIZATION.</b>	
1. ROUTINE INSPECTIONS	
A. THE PERMITTEE SHALL CONDUCT AND DOCUMENT WEEKLY (MINIMUM) INSPECTIONS OF THE FACILITY TO IDENTIFY AREAS CONTRIBUTING TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT AND EVALUATE WHETHER THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) IDENTIFIED UNDER E.I. OF THE CONSTRUCTION ACTIVITY - STORMWATER (GP) PART 1 - NARRATIVE REQUIREMENTS, INCLUDING THIS SOIL EROSION AND SEDIMENT CONTROL PLAN IS BEING PROPERLY IMPLEMENTED AND MAINTAINED, OR WHETHER ADDITIONAL MEASURES ARE NEEDED TO IMPLEMENT THE SPPE.	
B. ONCE INSTALLATION OF ANY REQUIRED OR OPTIONAL EROSION CONTROL DEVICE OR MEASURE HAS BEEN IMPLEMENTED, ROUTINE INSPECTIONS, MINIMUM WEEKLY, OF EACH MEASURE SHALL BE PERFORMED BY THE CONTRACTORS' INSPECTION PERSONNEL AND THE RESULTS RECORDED TO INVENTORY AND REPORT THE CONDITION OF EACH MEASURE, TO ASSIST IN MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER.	
C. THESE REPORT FORMS SHALL BECOME AN INTEGRAL PART OF THE SPPP AND SHALL BE MADE READILY ACCESSIBLE TO GOVERNMENTAL INSPECTION OFFICIALS, THE OPERATOR'S ENGINEER, AND THE OPERATOR FOR REVIEW UPON REQUEST DURING VISITS TO THE PROJECT SITE. IN ADDITION, COPIES OF THE REPORTS SHALL BE PROVIDED TO ANY OF THESE PERSONS, UPON REQUEST, VIA MAIL OR FACSIMILE TRANSMISSION.	
D. OTHER RECORD-KEEPING REQUIREMENTS	
THE CONTRACTOR SHALL KEEP THE FOLLOWING RECORDS RELATED TO CONSTRUCTION ACTIVITIES AT THE SITE:	
- DATES WHEN MAJOR GRADING ACTIVITIES OCCUR AND THE AREAS WHICH WERE GRADED	
- DATES AND DETAILS CONCERNING THE INSTALLATION OF STRUCTURAL CONTROLS	
- DATES WHEN CONSTRUCTION ACTIVITIES CEASE IN AN AREA	
- DATES WHEN AN AREA IS STABILIZED, EITHER TEMPORARILY OR PERMANENTLY	
- DATES OF RAINFALL AND THE AMOUNT OF RAINFALL	
- DATES AND DESCRIPTIONS OF THE CHARACTER AND AMOUNT OF AN SPILLS OF HAZARDOUS MATERIALS	
- RECORDS OF REPORTS FILED WITH REGULATORY AGENCIES IF REPORTABLE QUANTITIES OF HAZARDOUS MATERIALS SPILLED	
2. STORMWATER POLLUTION PREVENTION PLAN (SPPP)	
A. CONSTRUCTION ACTIVITY THAT MAY RESULT IN A STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT SHALL BE EXECUTED ONLY IN ACCORDANCE WITH A SPPP THAT CONSISTS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, AND (WHERE APPLICABLE) THE CONSTRUCTION SITE WASTE CONTROL COMPONENT SET FORTH IN ATTACHMENT B TO THE GENERAL PERMIT. A COPY OF THIS SPPP SHALL BE RETAINED BY THE PERMITTEE FOR A PERIOD OF AT LEAST FIVE (5) YEARS AFTER THE COMPLETION OF CONSTRUCTION. THIS PERIOD MAY BE EXTENDED BY WRITTEN REQUEST OF THE DEPARTMENT AT ANY TIME (SEE N.J.A.C. 7:14A-4.6).	
3. REPORTS OF NONCOMPLIANCE	
A. ALL INSTANCES OF NONCOMPLIANCE NOT REPORTED UNDER N.J.A.C. 7:14A-6.10 SHALL BE REPORTED TO THE DEPARTMENT ANNUALLY.	
4. NOTIFICATION OF COMPLETION	
A. THE SOIL CONSERVATION DISTRICT WILL PROVIDE THE DEPARTMENT A COPY OF THE REPORT OF COMPLIANCE ISSUED UNDER N.J.A.C. 290-1 FOR COMPLETED CONSTRUCTION, AND EXCEPT SINGLE FAMILY HOME CONSTRUCTION UNDER B. BELOW, THE REPORT OF COMPLIANCE SHALL SERVE AS THE NOTIFICATION OF COMPLETION	
B. THE BUILDER OF A SINGLE FAMILY HOME THAT IS AUTHORIZED UNDER THIS PERMIT, BUT NOT WITHIN THE DEFINITION OF "PROJECT AT N.J.S.A. 424-41.G, SHALL SEND A COPY OF THE FINAL CERTIFICATE OF OCCUPANCY TO THE SOIL CONSERVATION DISTRICT. THE SOIL CONSERVATION DISTRICT WILL PROVIDE A COPY OF THE FINAL CERTIFICATE OF OCCUPANCY TO THE DEPARTMENT, WHICH WILL SERVE AS NOTIFICATION OF COMPLETION.	
C. THE DOT SHALL PROVIDE WRITTEN NOTIFICATION TO THE DEPARTMENT WHEN DOT CERTIFIED PROJECTS ARE COMPLETED.	
5. COPIES OF ALL OF THE ABOVE, INCLUDING THE SPPP (WITH THE CERTIFIED PLAN), THE CERTIFICATION, AUTHORIZATION UNDER NPDES' CONSTRUCTION ACTIVITY STORMWATER GENERAL PERMIT, ALL CORRESPONDENCE AND NOTES TO AND FROM THE NJDEP AND SOIL CONSERVATION DISTRICT (OR DESIGNATED MUNICIPALITY) SHALL BE MAINTAINED ON-SITE.	

SEQUENCE OF COMMERCIAL CONSTRUCTION

	DTL_NUMBER	MODIFIED DTL_DATE
1. CLEARING OF ENTRANCE AND LIMIT OF DISTURBANCE FOR INSTALLATION OF SILT FENCE AND CONSTRUCTION ENTRANCE PAD (1 WEEK)		
2. CLEARING AND ROUGH GRADING (2 WEEKS)		
3. CONSTRUCTION OF UNDERGROUND STORM WATER BASIN (2 WEEKS)		
4. INSTALL STORM DRAINAGE SYSTEM, CONDUIT OUTLET PROTECTION AND ALL OTHER UTILITIES. INSTALL INLET PROTECTION (3 WEEKS)		
5. CONSTRUCT CURBS AND PLACE ROAD SUBBASE (2 WEEKS)		
6. CLEAR AND GRADE BUILDING AREAS AND CONSTRUCT BUILDINGS. ALL DISTURBED AREAS SHALL BE STABILIZED AS DEFINED IN SOIL EROSION AND SEDIMENT CONTROL NOTES. (ONGOING FROM COMMENCEMENT OF PROJECT)		
7. ESTABLISH FINISH GRADES AND PLACE PERMANENT VEGETATION COVER (2-3 WEEKS)		
8. PAVE ROADS AND COMPLETE FINAL LANDSCAPING (1 MONTH)		
9. REMOVE TEMPORARY ACCESS PROTECTION, SILT FENCE, AND INLET PROTECTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.		

STABILIZATION WITH MULCH ONLY

MCNJ-SOIL-NOTE-1301	05/01/17
1. SITE PREPARATION	
A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.	
B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.	
2. PROTECTIVE MATERIALS	
A. UNROTTEEN SMALL-GRAIN STRAW, AT 2.0 TO 2.5 TONS PER ACRE, IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH.	
B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.	
C. WOOD-FIBER OR PAPER-FIBER MULCH HYDROSEEDER IN QUANTITIES/APPLICATION RATES AS RECOMMENDED BY MANUFACTURER.	
D. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.	
E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.	
3. MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACING OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF THE SLOPES.	
A. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.	
B. MULCH NETTING - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH USE DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.	
C. CRIMPER MULCH ANCHORING COULTER TOOL - A TRACTOR-DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANKER MULCH INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS LIMITED TO THE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON A SLOPING LAND, THE OPERATION SHOULD BE ON THE CONTOUR.	
D. LIQUID MULCH-BINDERS	
1. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.	
2. USE ONE OF THE FOLLOWING:	
a. ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTO-TOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS. VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.	
b. SYNTHETIC BINDERS - HIGH POLYMERS SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING, THE BINDERS SHALL BE LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.	

MITIGATION NOTES FOR ACIDIC SOIL

MCNJ-SOIL-NOTE-1700	05/01/17
1. LIMIT THE EXCAVATION AREA AND EXPOSURE TIME WHEN HIGH-ACID PRODUCING SOILS ARE ENCOUNTERED.	
2. TOPSOIL STRIPPED FROM THE SITE SHALL BE STORED SEPARATELY FROM TEMPORARILY STOCKPILED HIGH ACID PRODUCING SOILS.	
3. STOCKPILES OF HIGH ACID-PRODUCING SOIL SHOULD BE LOCATED ON LEVEL LAND TO MINIMIZE ITS MOVEMENT, ESPECIALLY WHEN THIS MATERIAL HAS A HIGH CLAY CONTENT.	
4. TEMPORARILY STOCKPILED HIGH ACID-PRODUCING SOIL MATERIAL TO BE STORED MORE THAN 48 HOURS SHOULD BE COVERED WITH PROPERLY ANCHORED, HEAVY GRADE SHEETS OF POLYETHYLENE WHERE POSSIBLE. IF NOT POSSIBLE, STOCKPILES SHALL BE COVERED WITH A MINIMUM OF 3 TO 6 INCHES OF WOOD CHIPS TO MINIMIZE EROSION OF THE STOCKPILE SILT FENCE SHALL BE INSTALLED AT THE TOE OF THE SLOPE TO CONTAIN MOVEMENT OF THE STOCKPILED MATERIAL. TOPSOIL SHALL NOT BE APPLIED TO THE STOCKPILES TO PREVENT TOPSOIL CONTAMINATION WITH HIGH ACID-PRODUCING SOIL.	
5. HIGH ACID PRODUCING SOILS WITH A pH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE (INCLUDING BORROW FROM CUTS OR DREDGED SEDIMENT) SHALL BE ULTIMATELY PLACED OR BURIED WITH LIMESTONE APPLIED AT THE RATE OF 10 TONS PER ACRE (OR 450 POUNDS PER 1,000 SQUARE FEET OF SURFACE AREA) AND COVERED WITH A MINIMUM OF 12 INCHES OF SETTLED SOIL WITH A pH OF 5.0 OR MORE EXCEPT AS FOLLOWS:	
A. AREAS WHERE TREES OR SHRUBS ARE TO BE PLANTED SHALL BE COVERED WITH A MINIMUM OF 24 INCHES OF SOIL WITH A pH OF 5 OR MORE.	
B. DISPOSAL AREAS SHALL NOT BE LOCATED WITHIN 24 INCHES OF ANY SURFACE OF A SLOPE OR BANK, SUCH AS BELL RITCHES, AND OTHERS, TO PREVENT POTENTIAL LATERAL LEACHING DAMAGES.	
6. EQUIPMENT USED FOR MOVEMENT OF HIGH ACID-PRODUCING SOILS SHOULD BE CLEANED AT THE END OF EACH DAY OF REACH. END OF REACH CLEANING OF HIGH ACID-PRODUCING SOIL MATERIALS TO OTHER PARTS OF THE SITE, INTO STREAMS OR STORMWATER CONVEYANCES, AND TO PROTECT MACHINERY FROM ACCELERATED RUSTING.	
7. NON-VEGETATIVE EROSION CONTROL PRACTICES (STONE TRACKING PADS, STRATEGICALLY PLACED LIMESTONE CHECK DAM, SEDIMENT BARRIER, WOOD CHIPS) SHOULD BE INSTALLED TO LIMIT THE MOVEMENT OF HIGH ACID-PRODUCING SOILS FROM, AROUND, OR OFF THE SITE.	
8. FOLLOWING BURIAL OR REMOVAL OF HIGH ACID-PRODUCING SOIL, TOPSOILING AND SEEDING OF THE SITE (SEE TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION, AND TOPSOILING), MONITORING MUST CONTINUE FOR A MINIMUM OF 6 MONTHS TO ENSURE THERE IS ADEQUATE STABILIZATION AND THAT NO HIGH ACID-PRODUCING SOIL PROBLEMS EMERGE. IF PROBLEMS STILL EXIST, THE AFFECTED AREA MUST BE TREATED AS INDICATED ABOVE TO CORRECT THE PROBLEM.	

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

MCNJ-SOIL-NOTE-1101	05/01/17
1. TOPSOIL STRIPPING AND STOCKPILING	
A. FIELD EXPLORATION SHOULD BE MADE TO DETERMINE WHETHER QUANTITY AND/OR QUALITY OF SURFACE SOIL JUSTIFIES STRIPPING.	
B. A SINCER STRIPPING DEPTH IS TYPICAL, BUT MAY VARY DEPENDING ON THE PARTICULAR SOIL STRUCTURE OR PRE-EXISTING USE.	
C. STOCKPILES SHOULD BE LOCATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE, AND SHALL BE DELINEATED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN AND BE CONSTRUCTED IN ACCORDANCE WITH THE TOPSOIL STOCKPILE DETAIL.	
D. STOCKPILES SHOULD BE TEMPORARILY STABILIZED ACCORDING TO THE STANDARDS.	
2. SITE PREPARATION	
A. INSTALL EROSION CONTROL MEASURES AND FACILITIES SUCH AS SILT FENCE, DIVERSIONS, SEDIMENT BASINS, AND CHANNEL STABILIZATION.	
B. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, TACKING, AND MAINTENANCE. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING, 19-1.	
3. SEEDBED PREPARATION	
A. TOPSOIL REQUIRED MIN. DEPTH: 5" (UNSETTLED) PH: 6.0 TO 8.0 ORGANIC MATTER CONTENT: 2.75% MIN. NITRATE N2: 50 LBS/ACRE (50% WATER INSOLUBLE) PHOSPHOROUS: 100 LBS/ACRE POTASSIUM: 50 LBS/ACRE	
B. THE CONTRACTOR SHOULD BE AWARE OF THE POSSIBILITY, DEPENDING UPON THE SITE CONDITIONS, THAT ALL TOPSOIL MAY HAVE TO BE PROVIDED FROM AN OFF-SITE SOURCE.	
C. TOPSOIL SHOULD BE HANDLED ONLY WHEN DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE.	
D. APPLY A UNIFORM 5 INCHES (UNSETTLED) OF TOPSOIL ON ALL DISTURBED AREAS. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE AND THE TOP 5 INCHES SHALL MEET TOPSOIL STANDARD AND SHALL BE LINED ACCORDING TO THE SPECIFICATIONS.	
E. IF THE TOPSOIL BECOMES COMPACTED, THE SURFACE MUST BE SCARIFIED 6" TO 12" TO PROVIDE GOOD SEED-TO-SOIL BOND	
F. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY COOPERATIVE EXTENSION. IF SOIL TESTING IS NOT FEASIBLE, FERTILIZER (10-20-10) WITH 50% WATER INSOLUBLE NITROGEN SHOULD BE APPLIED AT THE TYPICAL RATE OF 500 LBS/ACRE OR 11 LBS/1,000 SQUARE FEET.	
G. APPLY LIMESTONE EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDES (PULVERIZED DOLOMITIC LIMESTONE IS PREFERRED FOR MOST SOILS SOUTH OF THE NEW BRUNSWICK - TRENTON FALL LINE) AS FOLLOWS:	
SOIL TEXTURE TONS/ACRE LBS/1,000 SQ. FT.	
CLAY, CLAY LOAM, HIGH ORGANIC 3 135	
SANDY LOAM, LOAM, SILT LOAM 2 90	
LOAMY SAND, SAND 1 45	
H. WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES. THE FINAL HARROWING OR DISC OPERATING SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A UNIFORM, FINE SEEDBED IS PREPARED.	
I. REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION, AND OTHER OBJECTIONABLE STONES OR DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.	
4. SEEDING	
A. SELECT A SEED MIXTURE APPROVED BY THE MERCER COUNTY SCD.	
B. APPLY SEED UNIFORMLY BY HAND, CYCLONES, DROP SEEDER, DRILL, CULTIPACKER, OR HYDROSEEDER". THE LATTER MAY BE JUSTIFIABLE FOR LARGE, STEEP AREAS WHERE CONVENTIONAL APPLICATIONS ARE NOT FEASIBLE. HYDROSEEDING SHALL BE A TWO-STEP PROCESS. MULCH SHALL NOT BE MIXED WITH THE SEED. THE SEED MUST BE APPLIED FIRST TO ASSURE PROPER SEED TO SOIL CONTACT. THE HYDROMULCH IS THEN SPRAYED OVER THE SEEDING. FOR OPTIMUM RESULTS, THE SEED SHOULD BE INCORPORATED INTO THE SOIL TO A DEPTH OF ¼ TO ½ INCH DEPENDING UPON SPECIES.	
* THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE STANDARDS.	
C. AFTER SEEDING, THE SOIL SHOULD BE PACKED WITH A CORRUGATED ROLLER. WHEN PERFORMED ON THE CONTOUR, ROLLING WILL MINIMIZE SHEET EROSION AND MAXIMIZE WATER CONSERVATION.	
5. MULCHING	
A. UNROTTEEN STRAW, HAY FREE OF SEEDS, OR SALT HAY IS REQUIRED ON ALL SEEDING AT A RATE OF 1.5 TO 2 TONS/ACRE, (70 TO 90 LBS/1,000 SQUARE FEET), EXCEPT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER, THEN THE RATE OF APPLICATION IS 3 TONS PER ACRE.	
B. MULCH ANCHORING SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS DUE TO WIND OR WATER. THIS MAY BE DONE ACCORDING TO THE FOLLOWING METHODS:	
1. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 LBS/ACRE APPLIED BY THE HYDROSEEDER. USE IS LIMITED TO ONLY THE OPTIMUM SEEDING SEASON	
2. SYNTHETIC OR ORGANIC BINDERS	
3. PEG AND TWINE, MULCH NETTING, AND MECHANICAL CRIMPING	
4. CRIMPING REQUIRES A HIGHER MULCH RATE (3 TONS/ACRE)	
NOTE: 1) ONE BALE OF HAY WEIGHS 40-60 LBS DEPENDING ON HOW IT WAS BALED 2) 1,500 GALLON TANK OF HYDROMULCH COVERS 0.5 ACRES	
C. THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4.3 OF THE STANDARDS ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. (UP TO 50% REDUCTION IS APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS	

MIX: EARLY SPRING/ LATE SUMMER TO EARLY FALL  
100% PERENNIAL RYEGRASS  
RATE: 100 LBS/ACRE

MIX: LATE FALL  
100% CEREAL RYE  
RATE: 112 LBS/ACRE

MIX: MID-SUMMER  
40% PEARL MILLET  
40% MILLET (GERMAN OR HUNGARIAN)  
20% WEEPING LOVEGRASS  
RATE: 100 LBS/ACRE

7. RECOMMENDED PERMANENT SEEDING MIXES

OPTIMUM SEEDING DATES:  
**MARCH 1 TO MAY 15 AND AUGUST 15 TO OCTOBER 15**

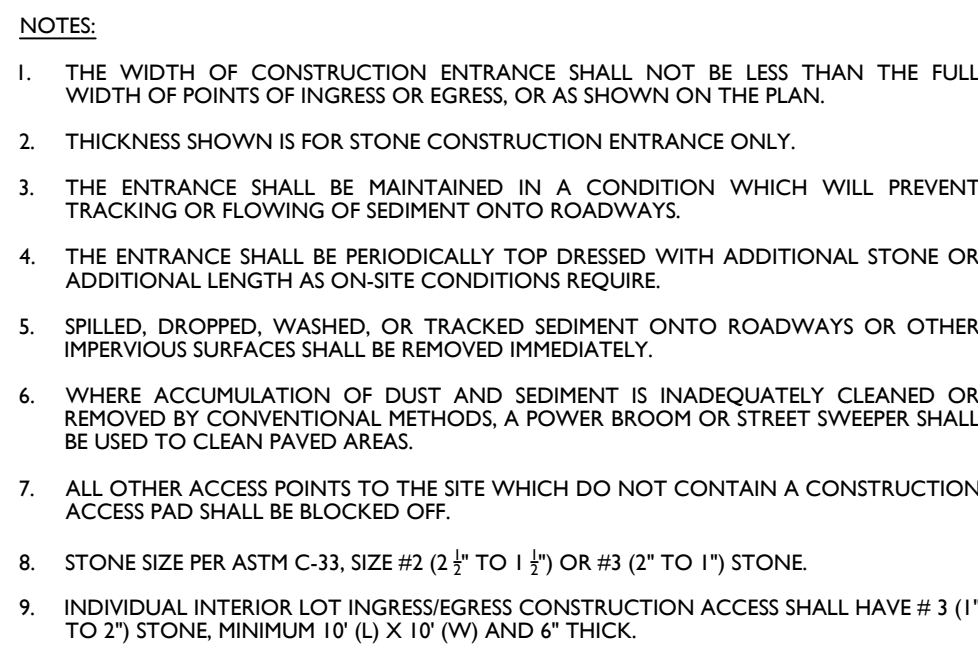
LAWNS - RATE 200 LBS/ACRE

MERCER CO. SCD PREFERRED MIX FOR LAWNS AND DETENTION BASINS  
70% TURF TYPE TALL FESCUE #4  
20% PERENNIAL RYEGRASS  
10% KENTUCKY BLUEGRASS

MIX: LAWNS - LOW MAINTENANCE, DROUGHTY & HEAVY TRAFFIC  
80% TALL FESCUE TURF TYPE (LOW GROWING VARIETIES) #4  
10% PERENNIAL RYEGRASS (LOW GROWING VARIETIES)

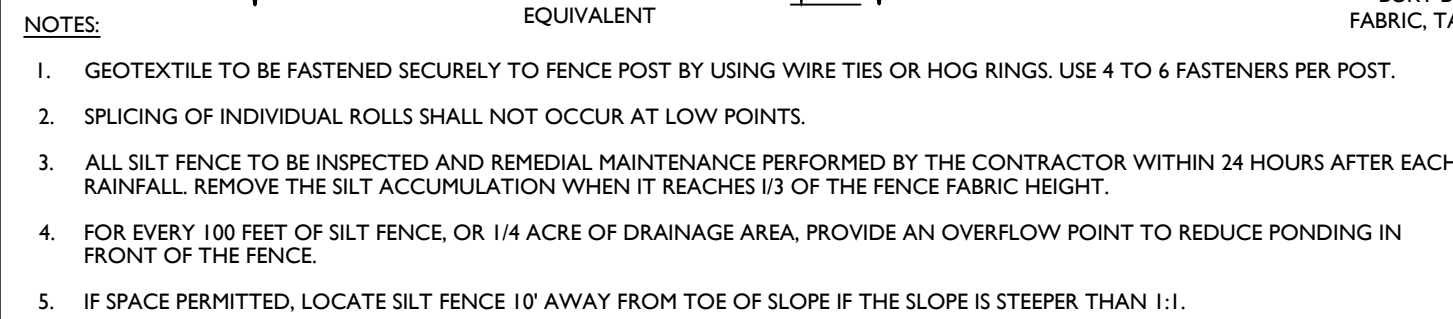
MIX: SHADE  
65% HARD, CHEWINGS, OR CREE



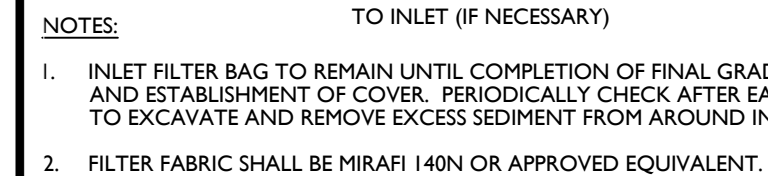
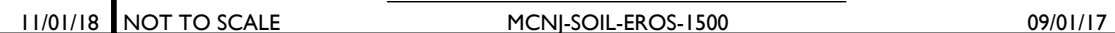


PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0% TO 2%	50 FT	100 FT
2% TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH HOT MIX ASPHALT BASE COURSE, MIX I-2	

NOT TO SCALE



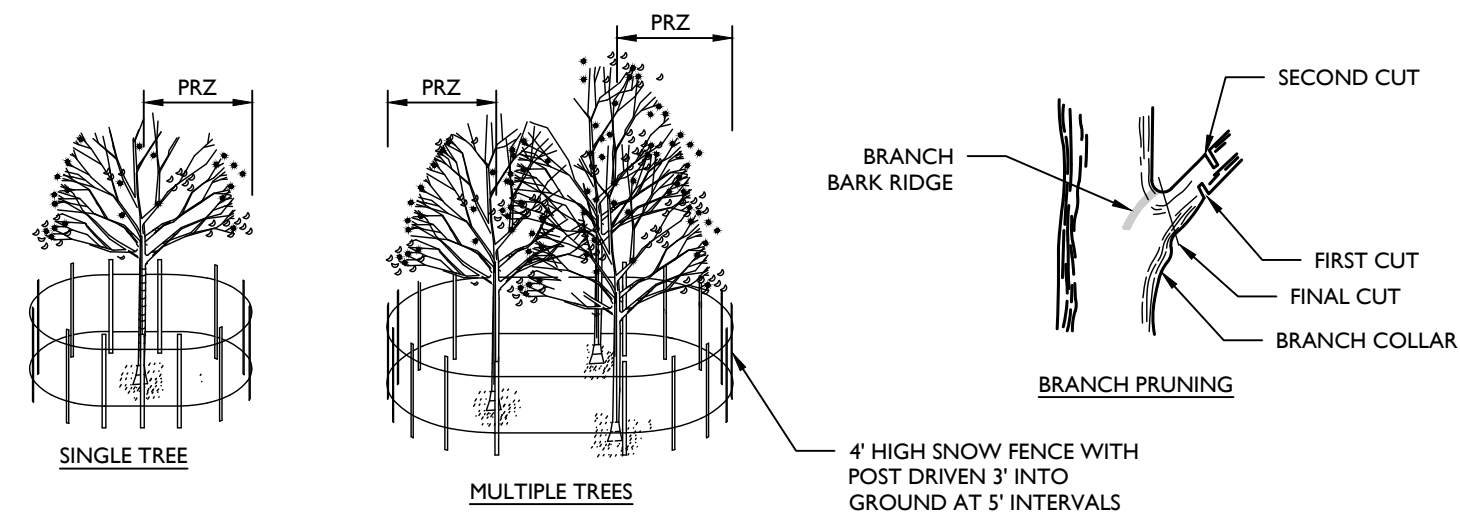
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NOT TO SCALE MCNI-SOIL-EROS-1501 05/01/17



1. GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT, OR APPROVED EQUAL.
2. FILLER CORE MAY BE SAND, COMPOST, OR PEA GRAVEL, COMPLETELY CONTAINED WITHIN GEOTEXTILE SEAMS, CLOSED BY SUITABLE MECHANICAL MEANS TO PREVENT LEAKAGE OF FILLER.
3. WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENCLOSE THE DRAIN INLET.
4. INLET GRATE OPENING IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.
5. THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR / 24 HOUR STORM EVENT AND BE SIZED TO CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
6. OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
7. INSPECTIONS SHALL BE FREQUENT, MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.




- NOTES:
1. PROTECTIVE FENCING IS TO BE ERECTED PRIOR TO CONSTRUCTION AND MAINTAINED DURING CONSTRUCTION AS DIRECTED BY THE LANDSCAPE ARCHITECT, SOIL CONSERVATION DISTRICT AND/OR MUNICIPAL ENGINEER.
  2. NO CONSTRUCTION ACTIVITY IS PERMITTED WITHIN THE PROTECTIVE FENCING.
  3. AS CONSTRUCTION NEARS COMPLETION THE FENCING WILL BE REMOVED AS DIRECTED.
  4. AT THE COMPLETION OF CONSTRUCTION, ALL TREES WILL BE PRUNED AS NECESSARY TO CORRECT ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY.
  5. GENERAL MECHANICAL DAMAGE - SEE CRITICAL ROOT ZONE CALCULATION (CRZ) FOR CORRECT PLACEMENT OF TREE PROTECTION.
  6. BOX TREES WITHIN 25 FEET OF A BUILDING SITE TO PREVENT MECHANICAL INJURY. FENCING OR OTHER BARRIER SHOULD BE INSTALLED BEYOND THE CRITICAL ROOT ZONE.
  7. BOARDS WILL NOT BE NAILED TO TREES DURING BUILDING OPERATIONS.
  8. FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA INSIDE THE PROTECTED ROOT ZONE (PRZ) OR CRITICAL ROOT ZONE (CRZ). TREE ROOT SYSTEM COMMONLY EXTEND BEYOND THE DRIP LINE.
  9. DAMAGED TRUNKS OR EXPOSED ROOTS SHOULD HAVE DAMAGED BARK REMOVED IMMEDIATELY AND NO PAINT SHALL BE APPLIED. EXPOSED ROOTS SHOULD BE COVERED WITH TOPSOIL IMMEDIATELY AFTER EXCAVATION IS COMPLETE. ROOTS SHALL BE PRUNED TO GIVE A CLEAN, SHARP SURFACE AMENABLE TO HEALING. ROOTS EXPOSED DURING HOT WEATHER SHOULD BE IRRIGATED TO PREVENT PERMANENT TREE INJURY. CARE FOR SERIOUS INJURY SHOULD BE PRESCRIBED BY A PROFESSIONAL FORESTER OR CERTIFIED TREE EXPERT.
  10. TREE LIMB REMOVAL WHERE NECESSARY, WILL BE DONE AS NATURAL TRUNK PRUNING TO REMOVE THE DESIRED BRANCH COLLAR. THERE SHOULD BE NO FLUSH CUTS, FLUSH CUTS OF MAJOR OR ALL OF THE TREE, NO TREE PAINT SHALL BE APPLIED. ALL CUTS SHALL BE MADE AT THE OUTSIDE EDGE OF THE BRANCH COLLAR. CUTS MADE TOO FAR BEYOND THE BRANCH COLLAR MAY LEAD TO EXCESS PRUNING, CRACKS AND ROT. REMOVAL OF A "Y" CROTCH SHOULD BE CONSIDERED FOR FREE STANDING SPECIMEN TREES TO AVOID FUTURE SPLITTING DAMAGE.
  11. CRITICAL ROOT ZONE (CRZ) OR PROTECTED ROOT ZONE (PRZ) CALCULATION:  
MEASURE DBH OF THE TREE (DIAMETER OF TREE IN BREAST HEIGHT OR 4.5' ABOVE GROUND ON THE UPHILL SIDE) IN INCHES.  
CRZ OR PRZ = DBH TIMES 1.5 (FOR OLD/UNHEALTHY/SENSITIVE TREES) OR DBH X 1.0 (FOR YOUNG/HEALTHY/TOLERANT TREES). EXPRESS IN FEET.

NOT TO SCALE MCNI-SOIL-EROS-2100 05/01/17



## NOT TO SCALE MCNI-SOIL-EROS-2500 05/01/17

[illegible]

  
JELEKA BALORDA-BARONE  
NEW JERSEY PROFESSIONAL  
ENGINEER - LICENSE NUMBER: GE44465


AMENDED PRELIMINARY  
AND FINAL MAJOR  
SITE PLAN

FOR  
WAWA LINDEN



BLOCK 436 LOT 11.01

CITY OF LINDEN  
UNION COUNTY  
NEW JERSEY



**RED BANK OFFICE**  
Corporate Headquarters  
331 Newman Springs Road  
Suite 203  
Red Bank, NJ 07701  
Phone: 732.383.1950  
Fax: 732.383.1984

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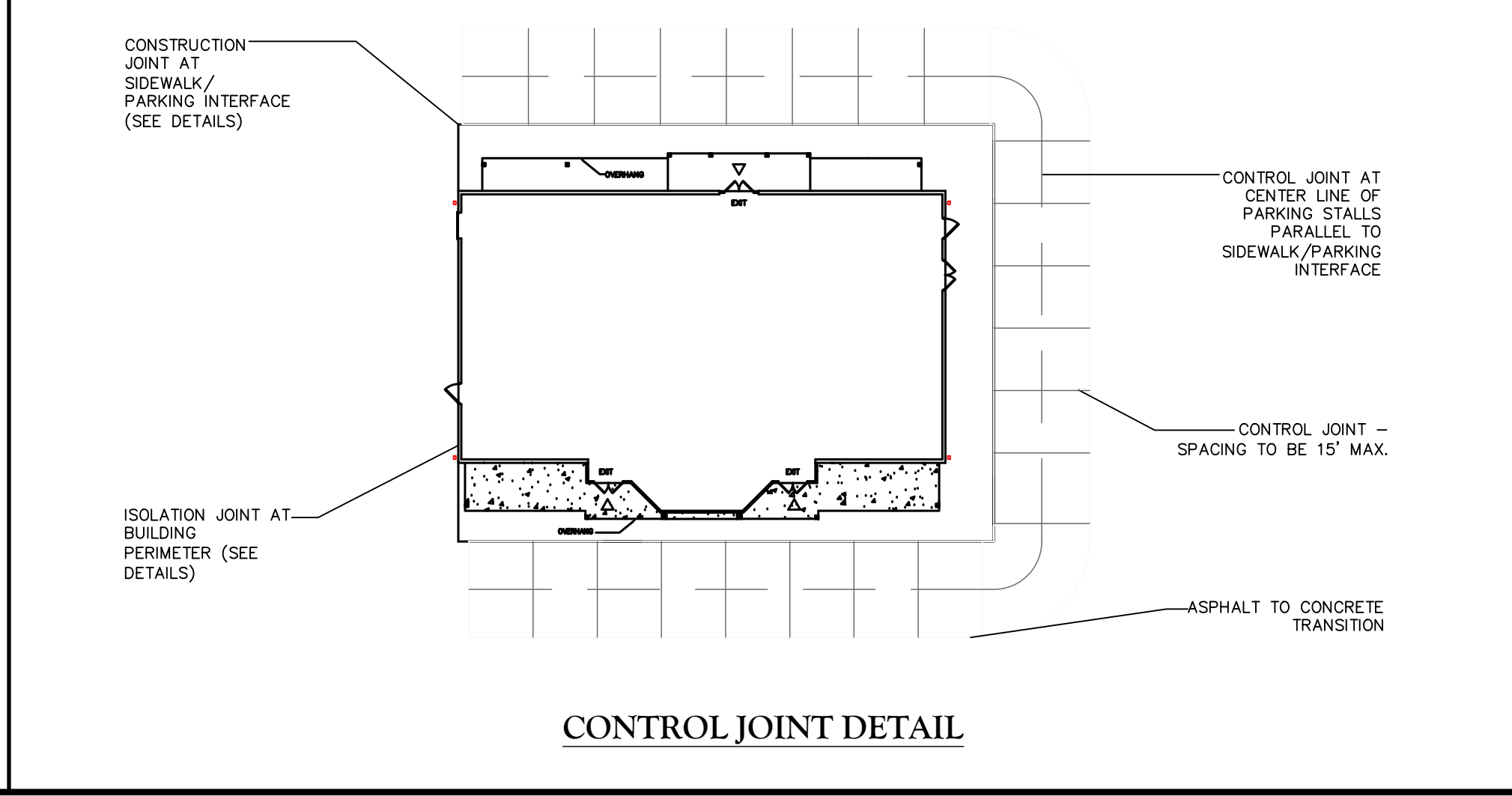
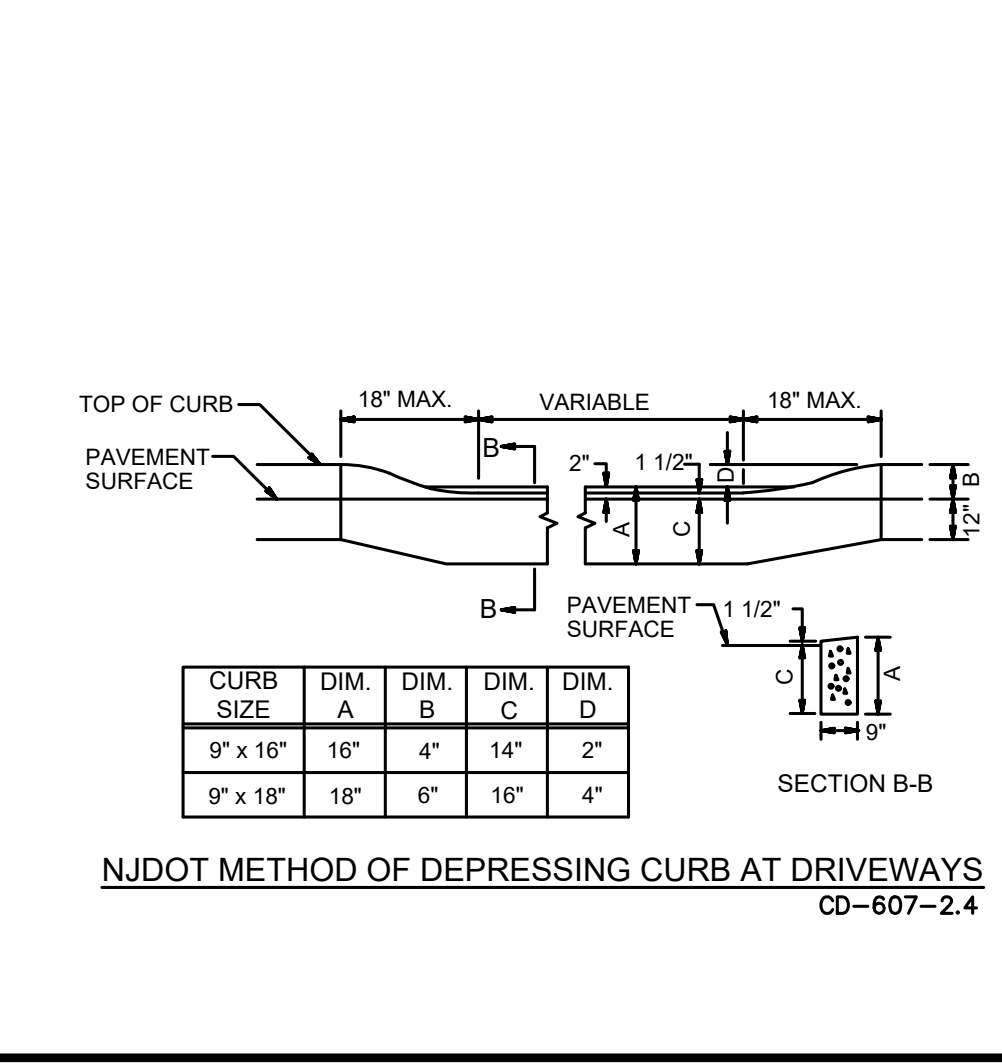
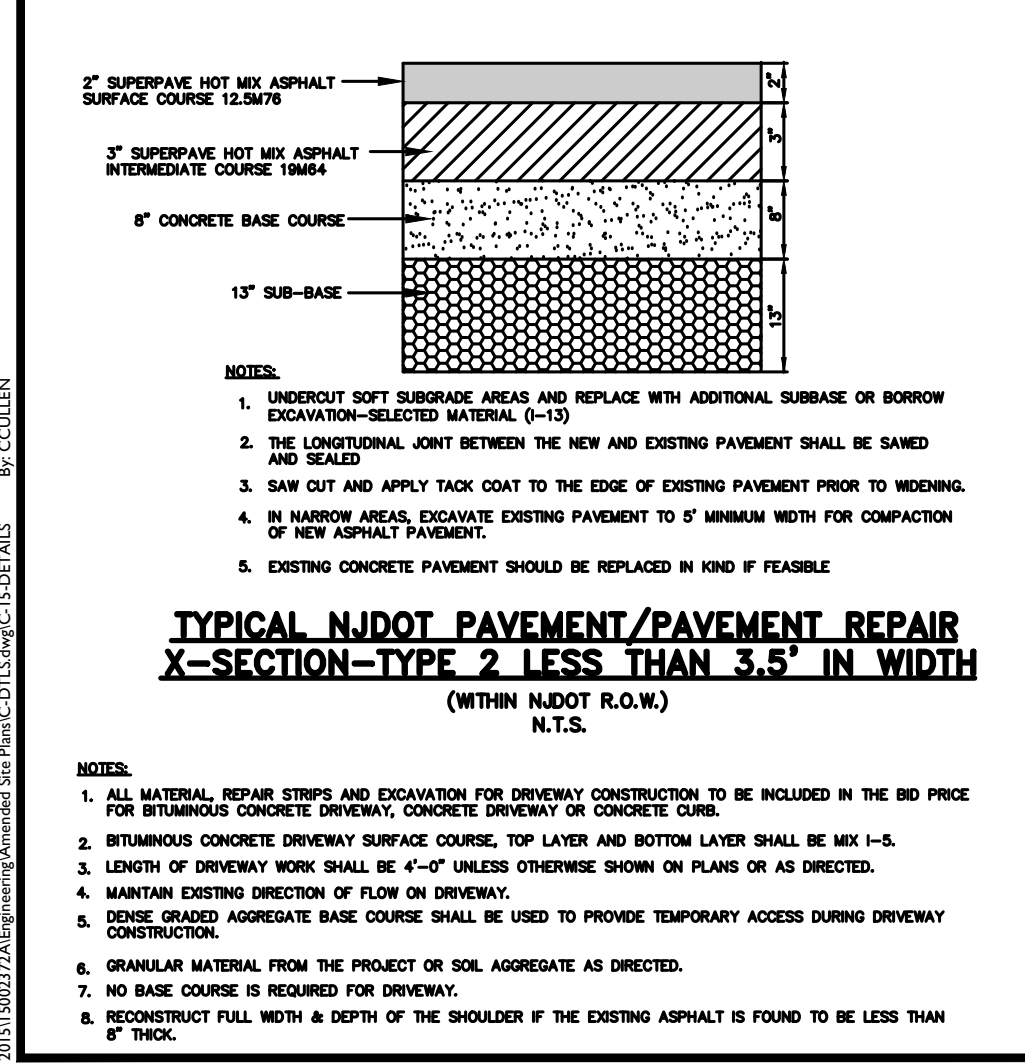
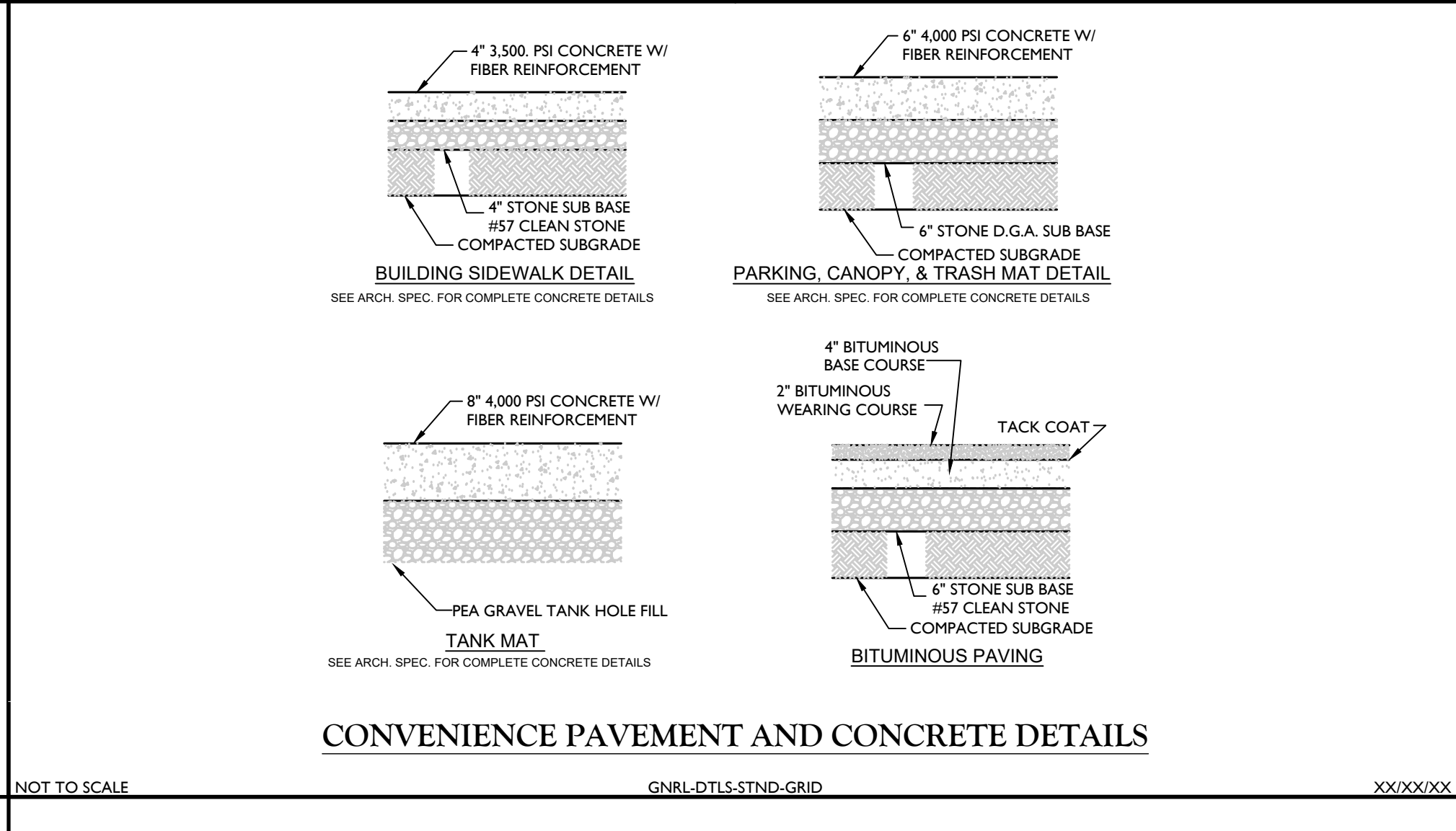
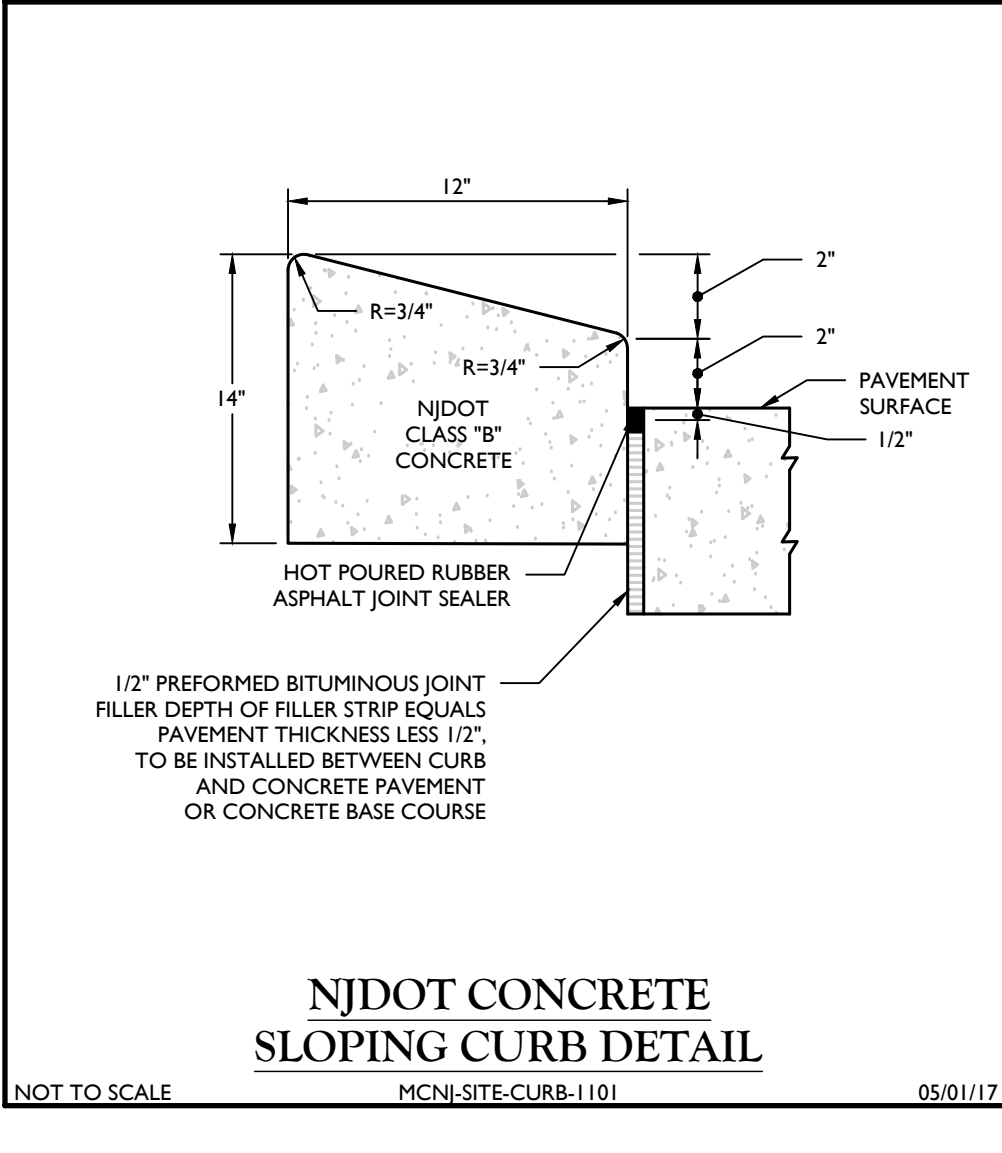
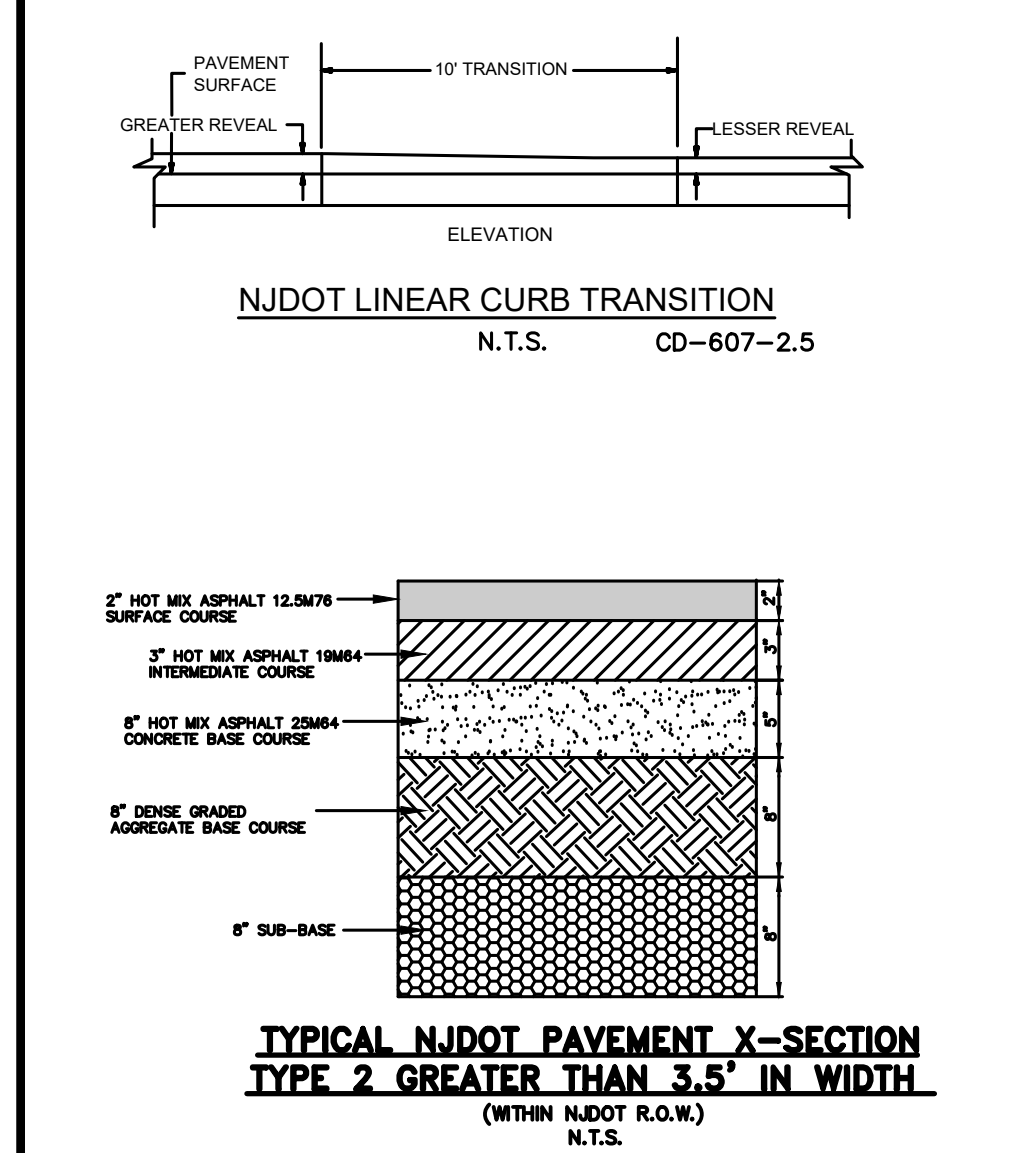
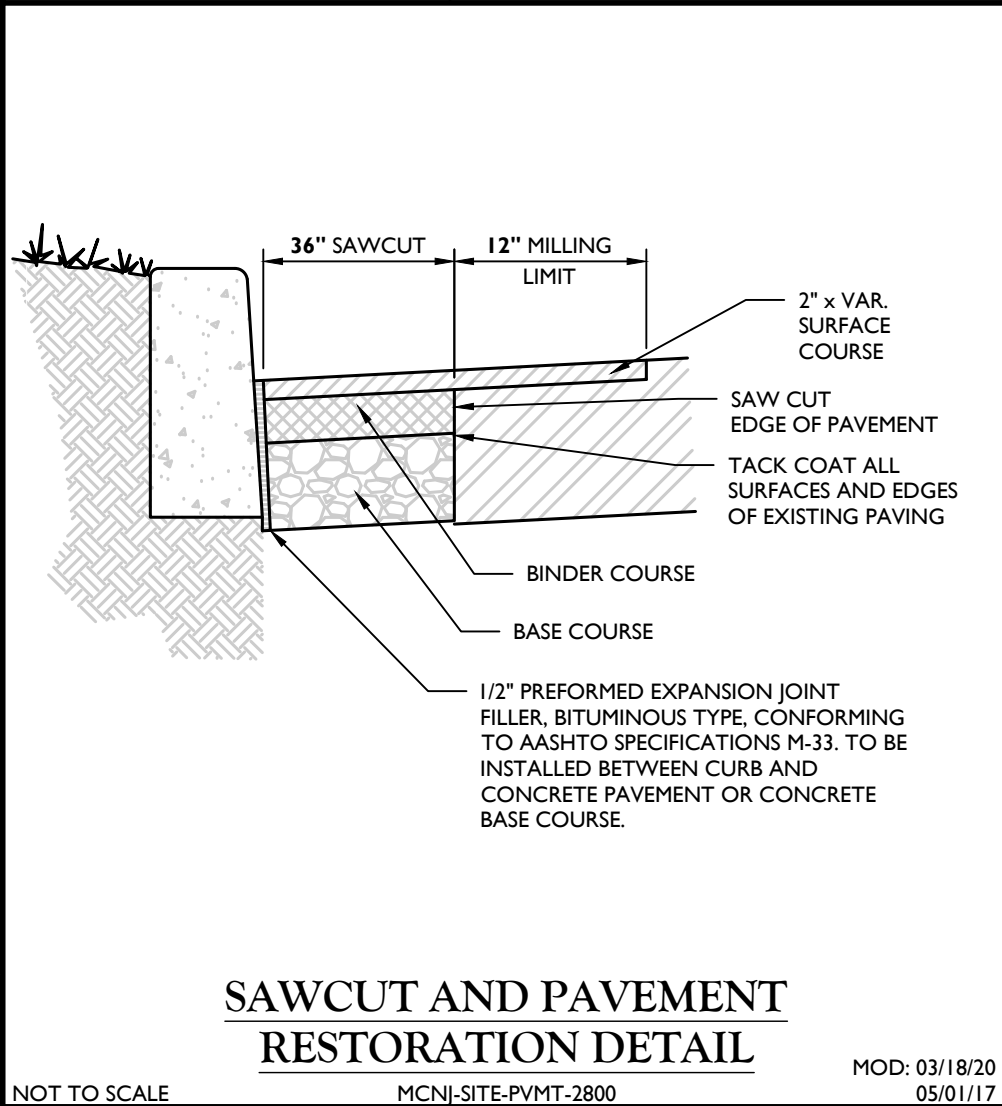
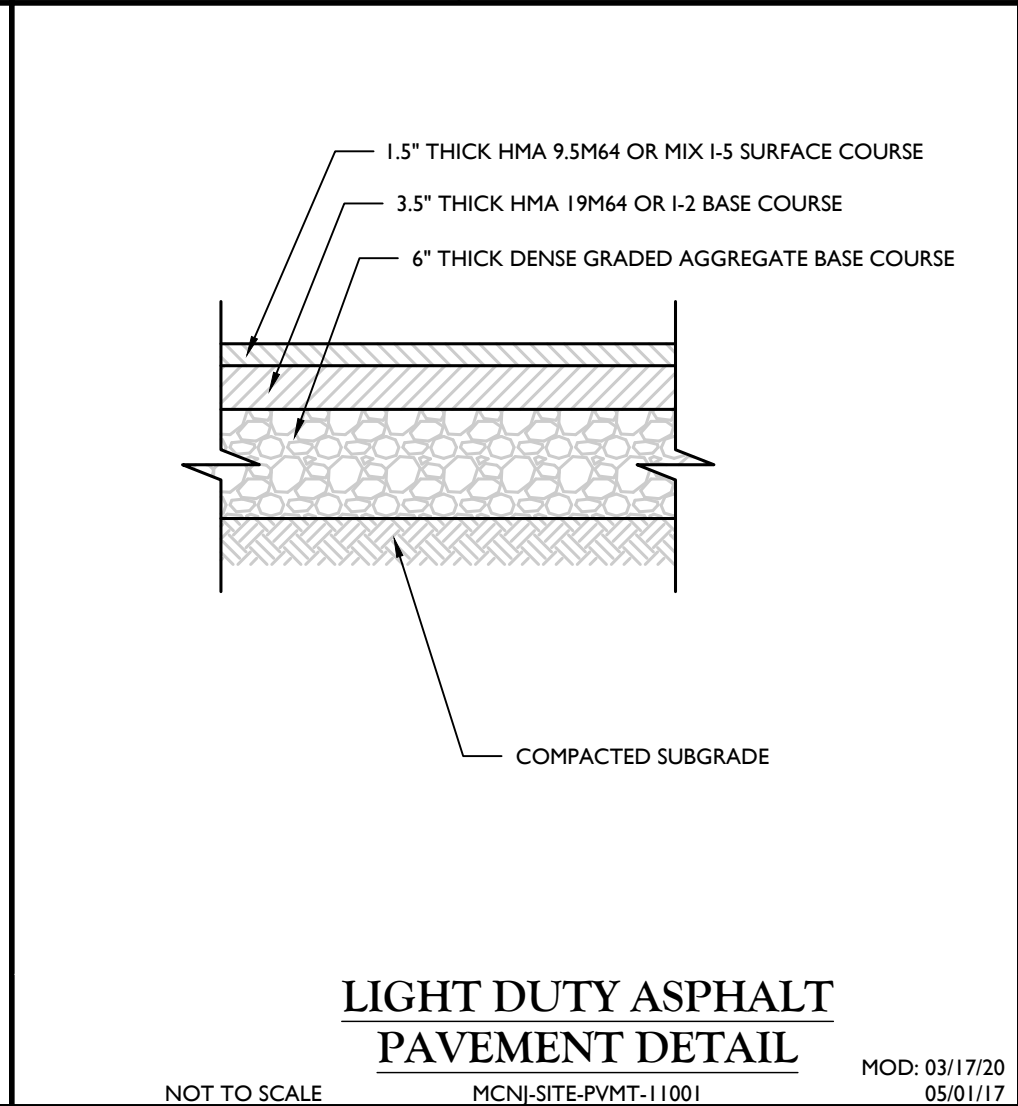
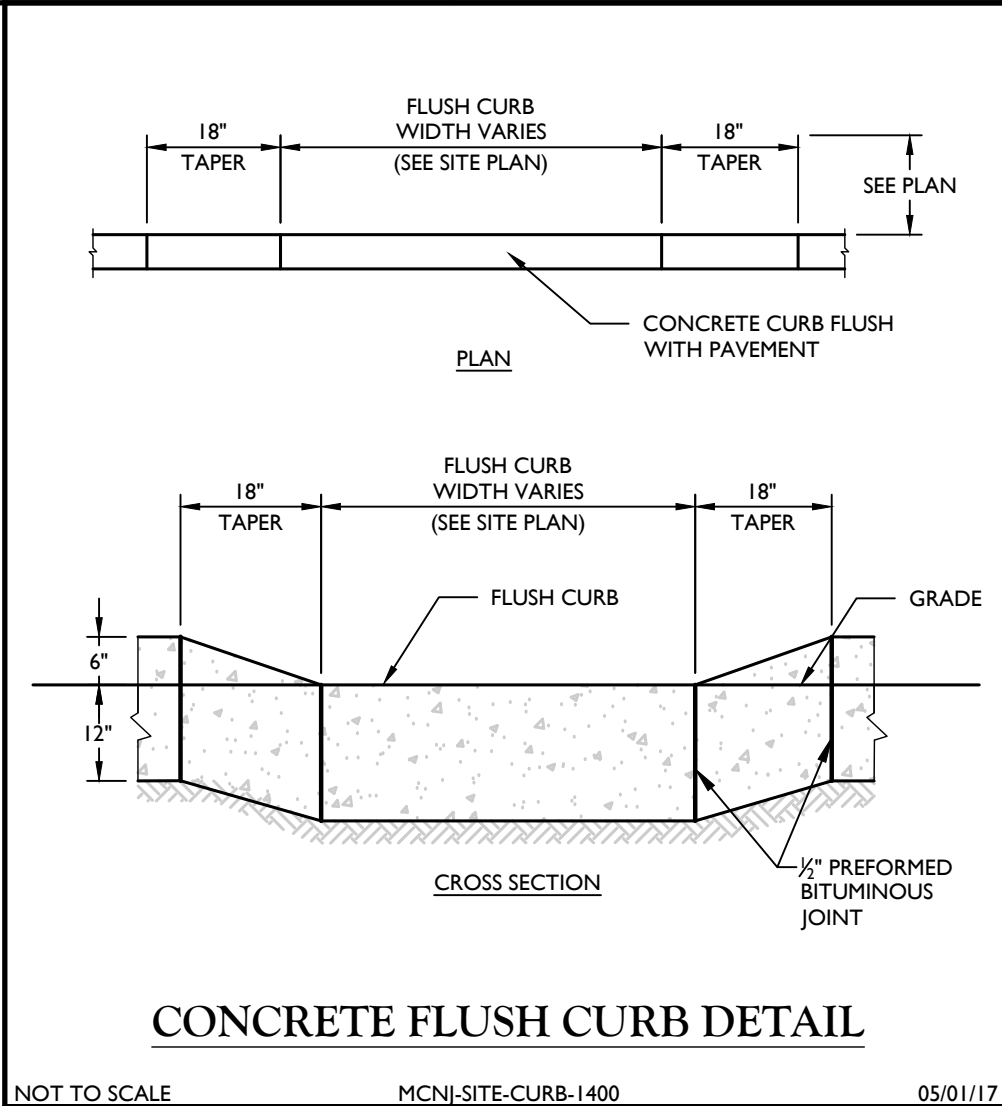
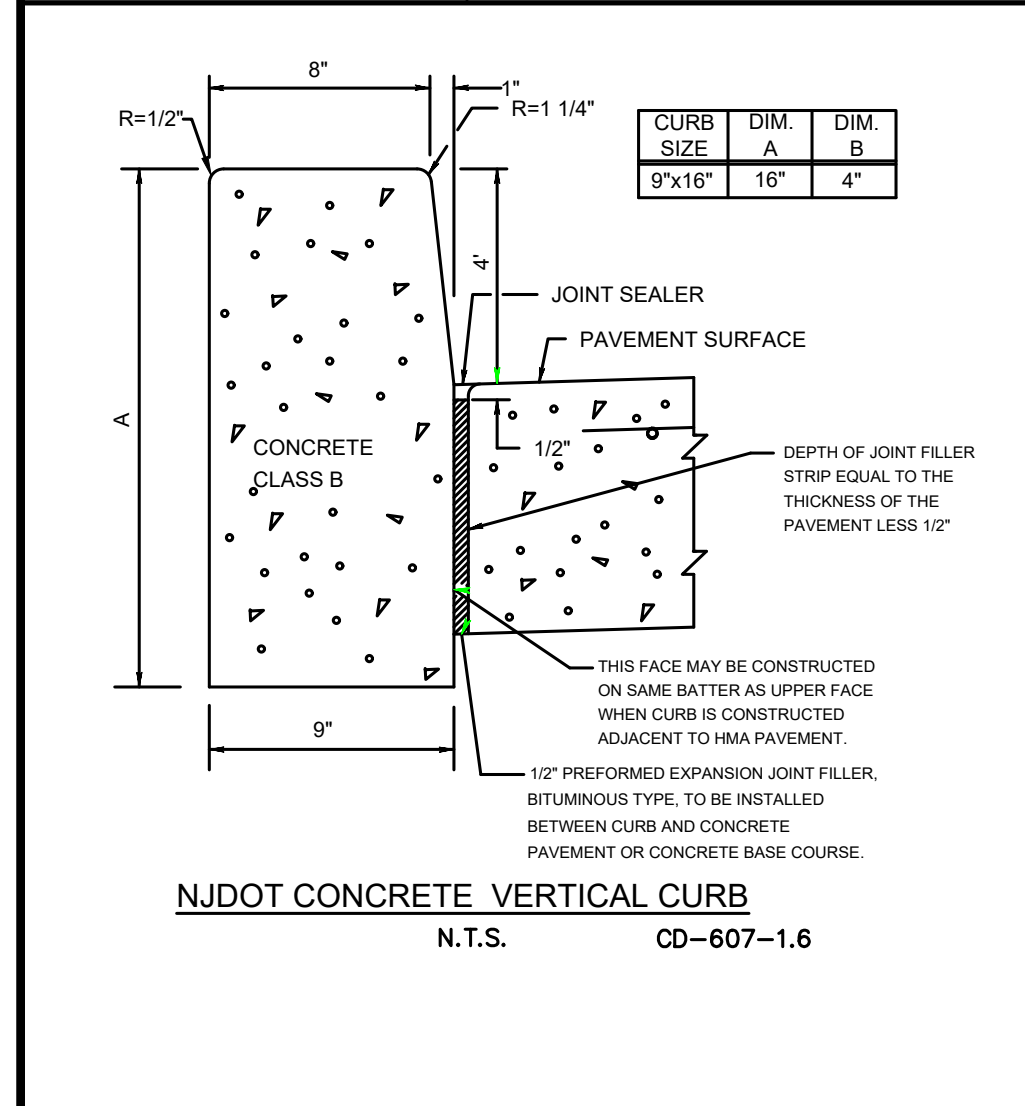
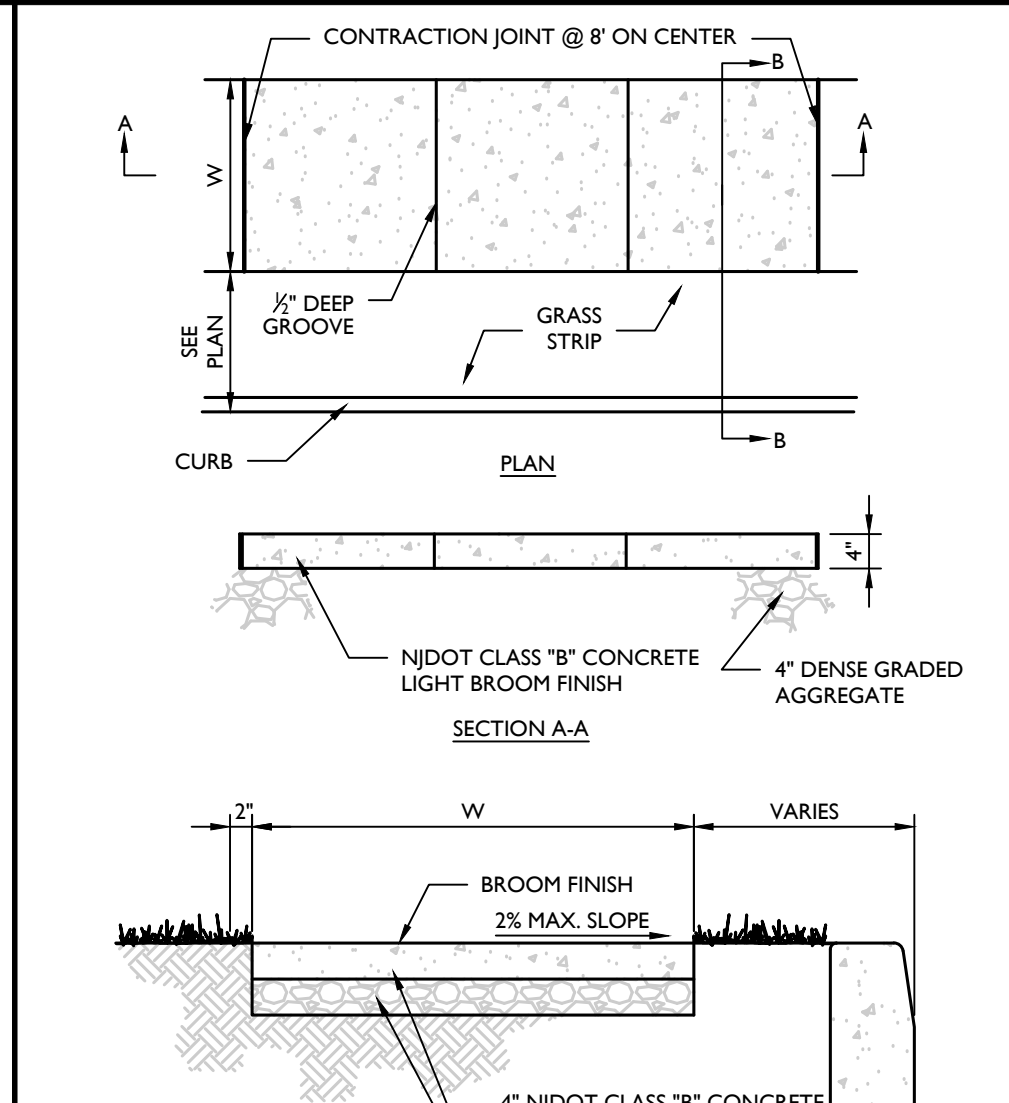
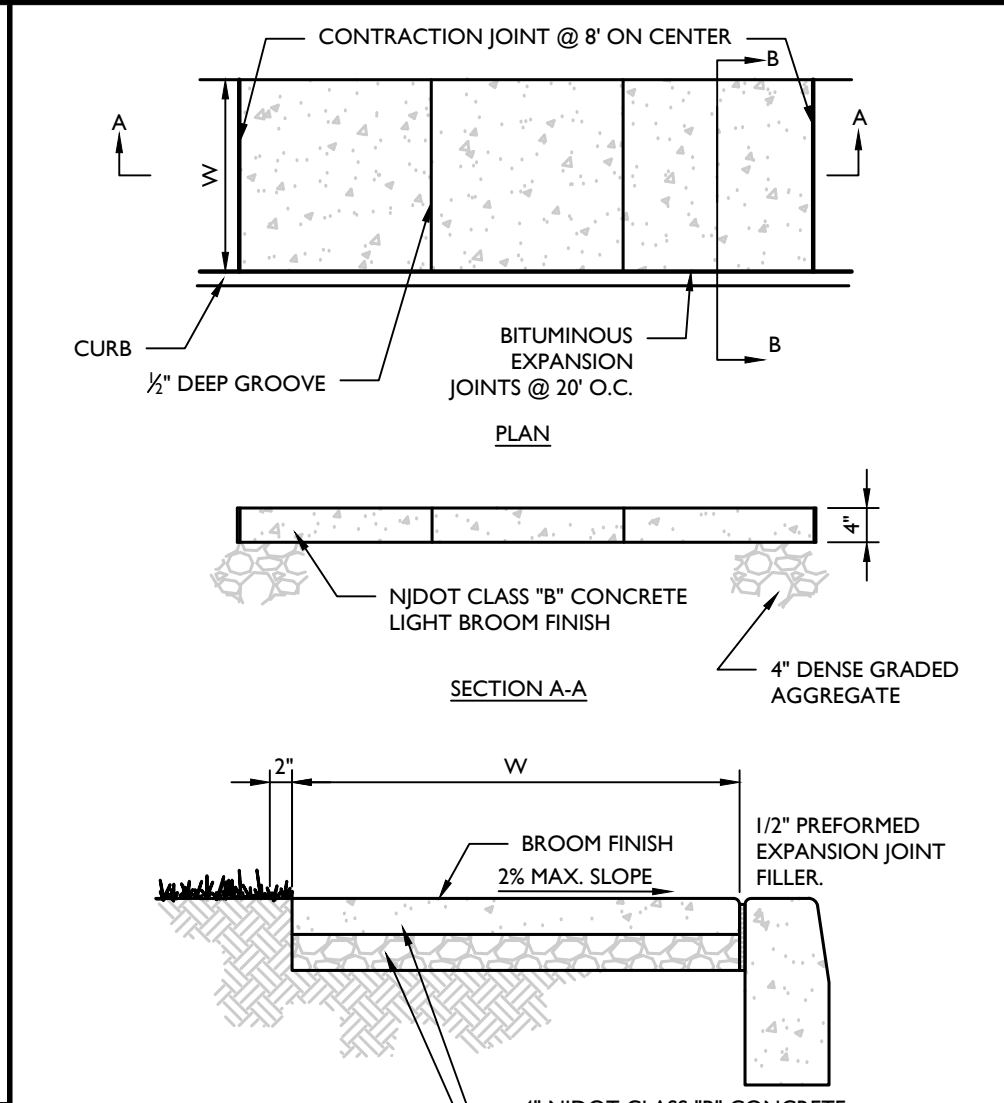
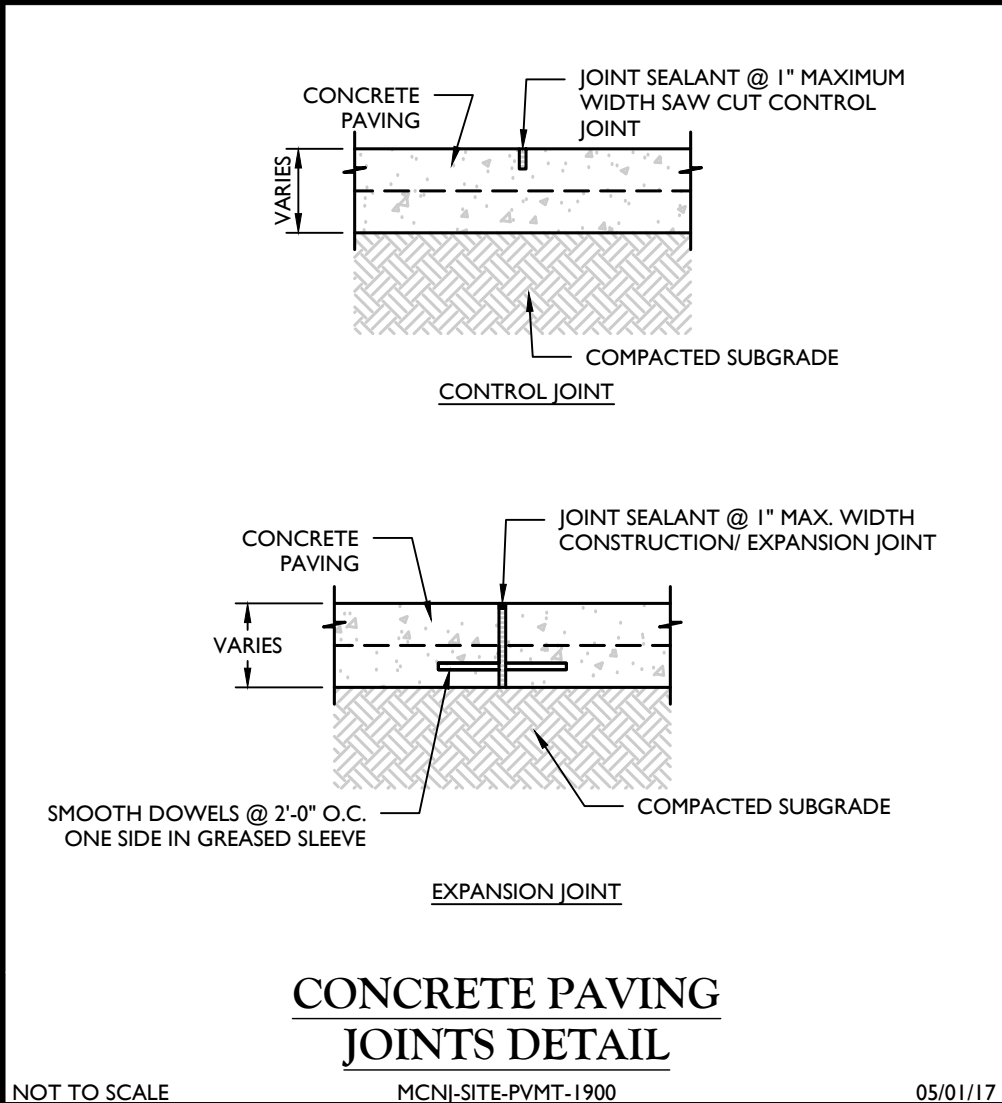
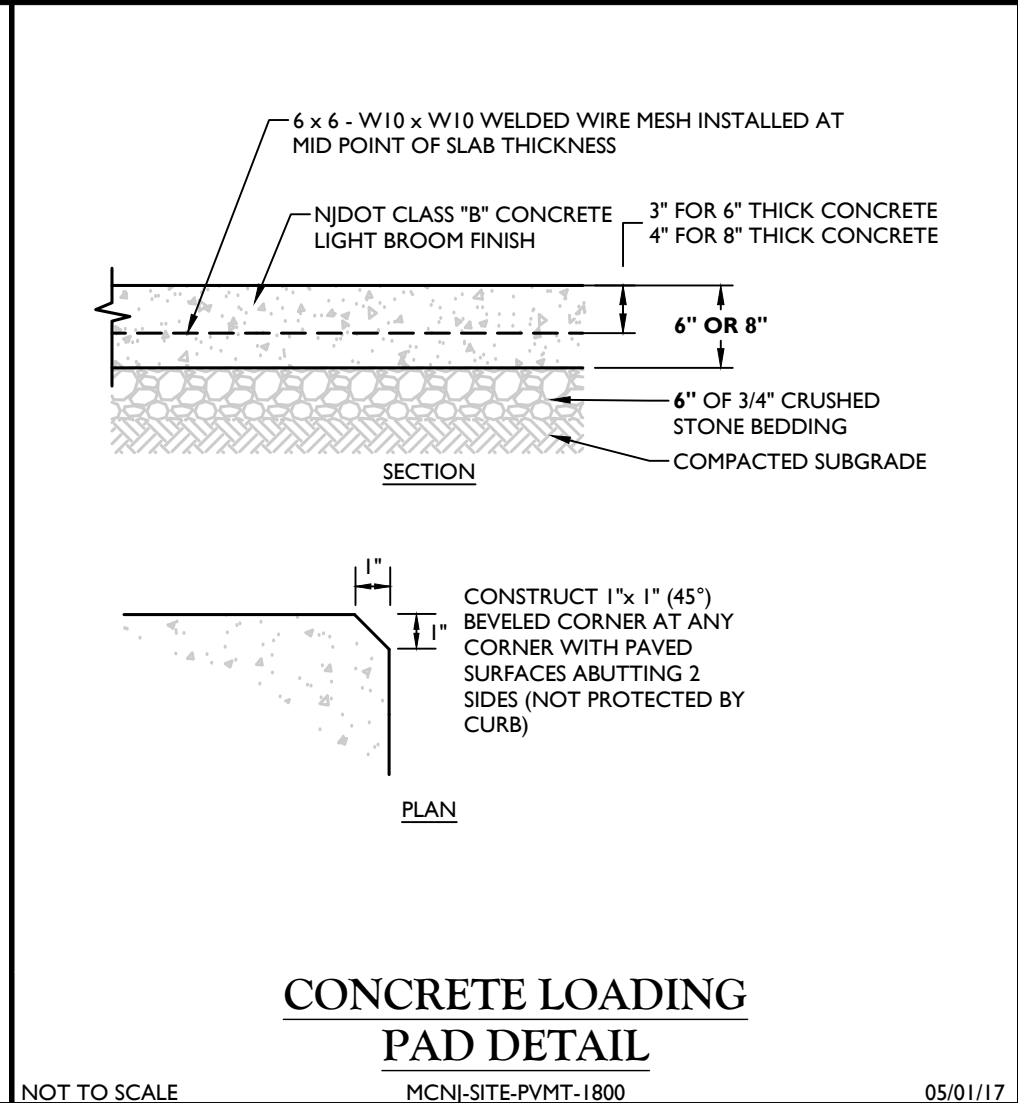
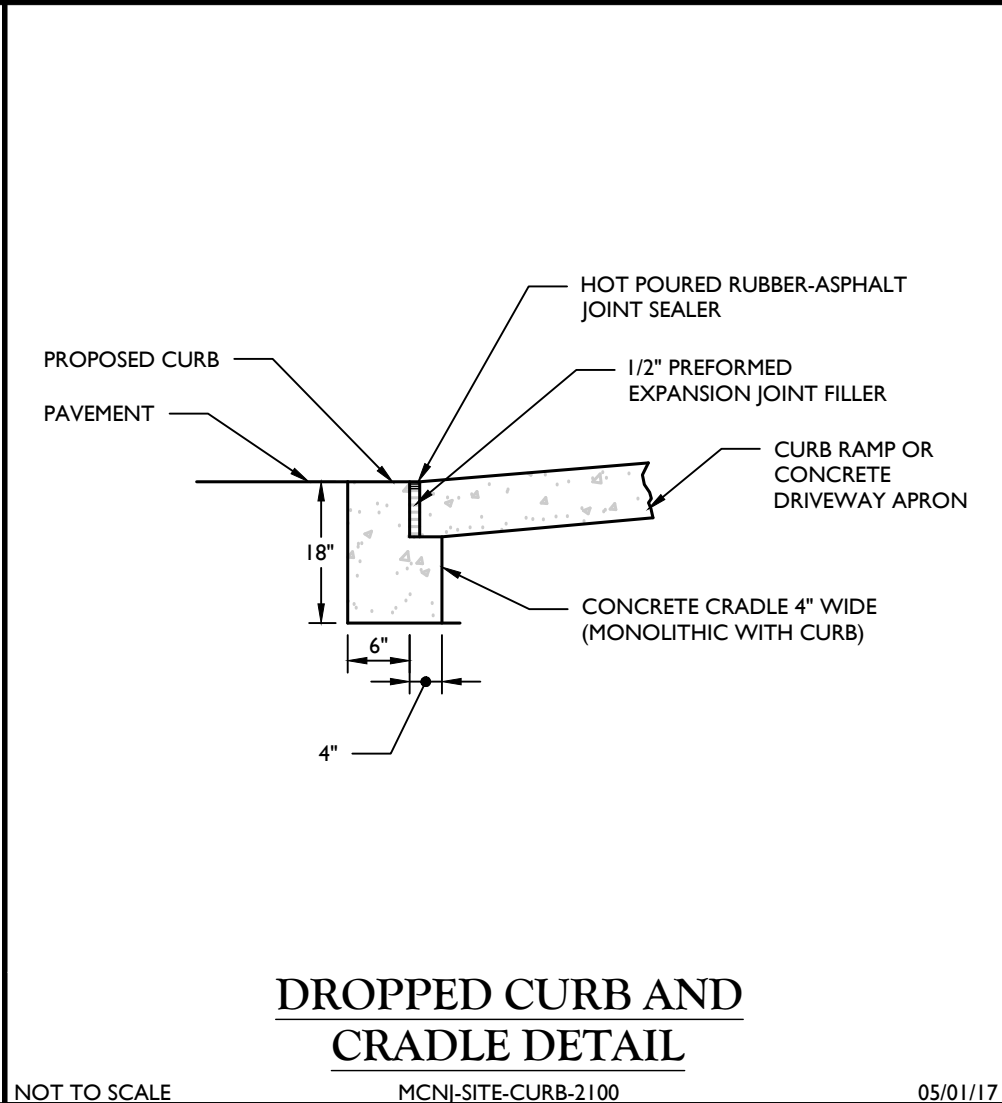
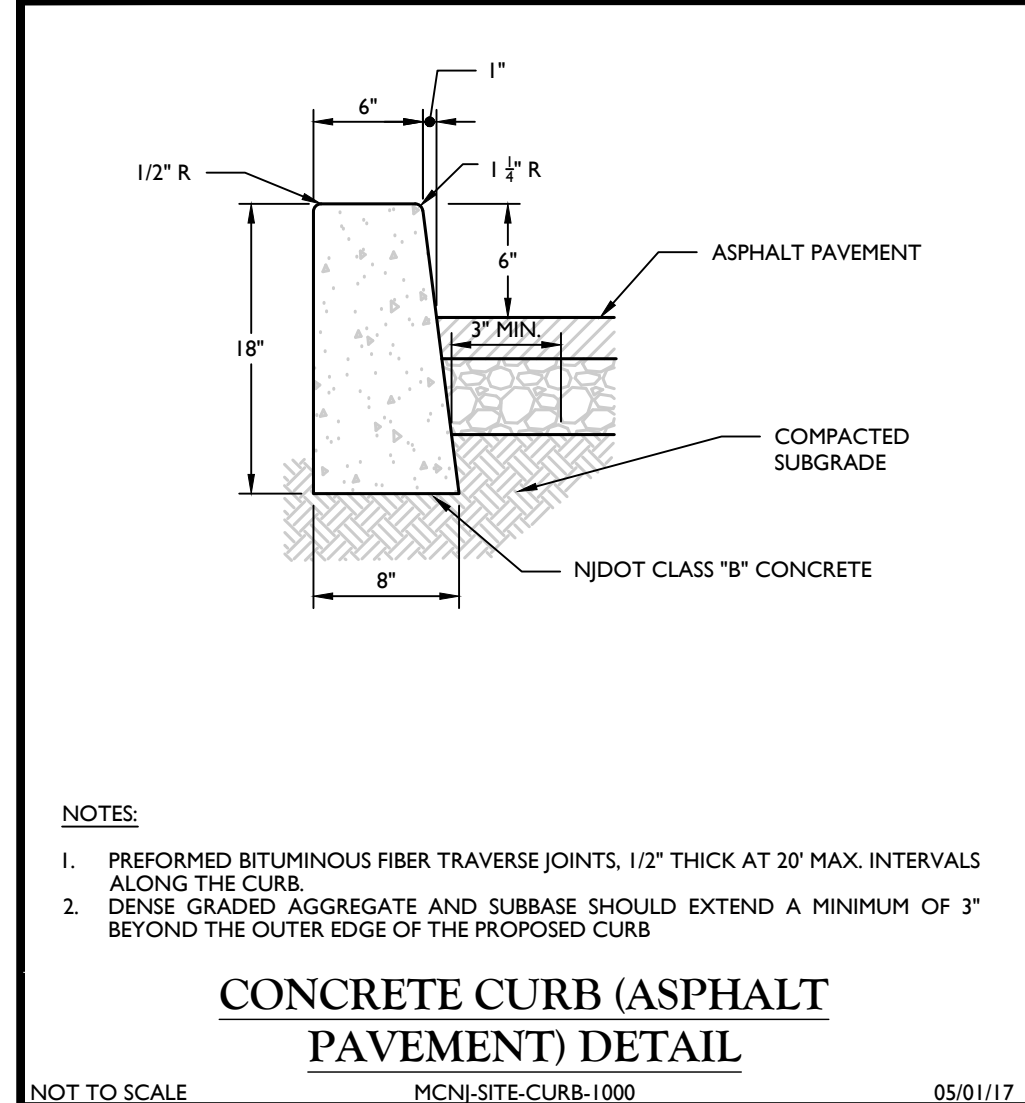
SHEET TITLE:

**SOIL EROSION & SEDIMENT  
CONTROL DETAILS**









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**JELENA BALORDA-BARONE**

NEW JERSEY PROFESSIONAL ENGINEER - LICENSE NUMBER: GE44465

**AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN FOR WAWA LINDEN**

**Wawa**

BLOCK 436 LOT 11.01

CITY OF LINDEN UNION COUNTY NEW JERSEY

**RED BANK OFFICE**

Corporate Headquarters  
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Phone: 732.383.1950  
Fax: 732.383.1984

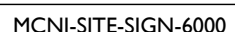
SCALE: AS SHOWN 3/20/2020  
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SHEET TITLE: CONSTRUCTION DETAILS

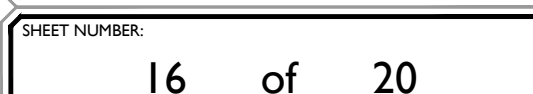
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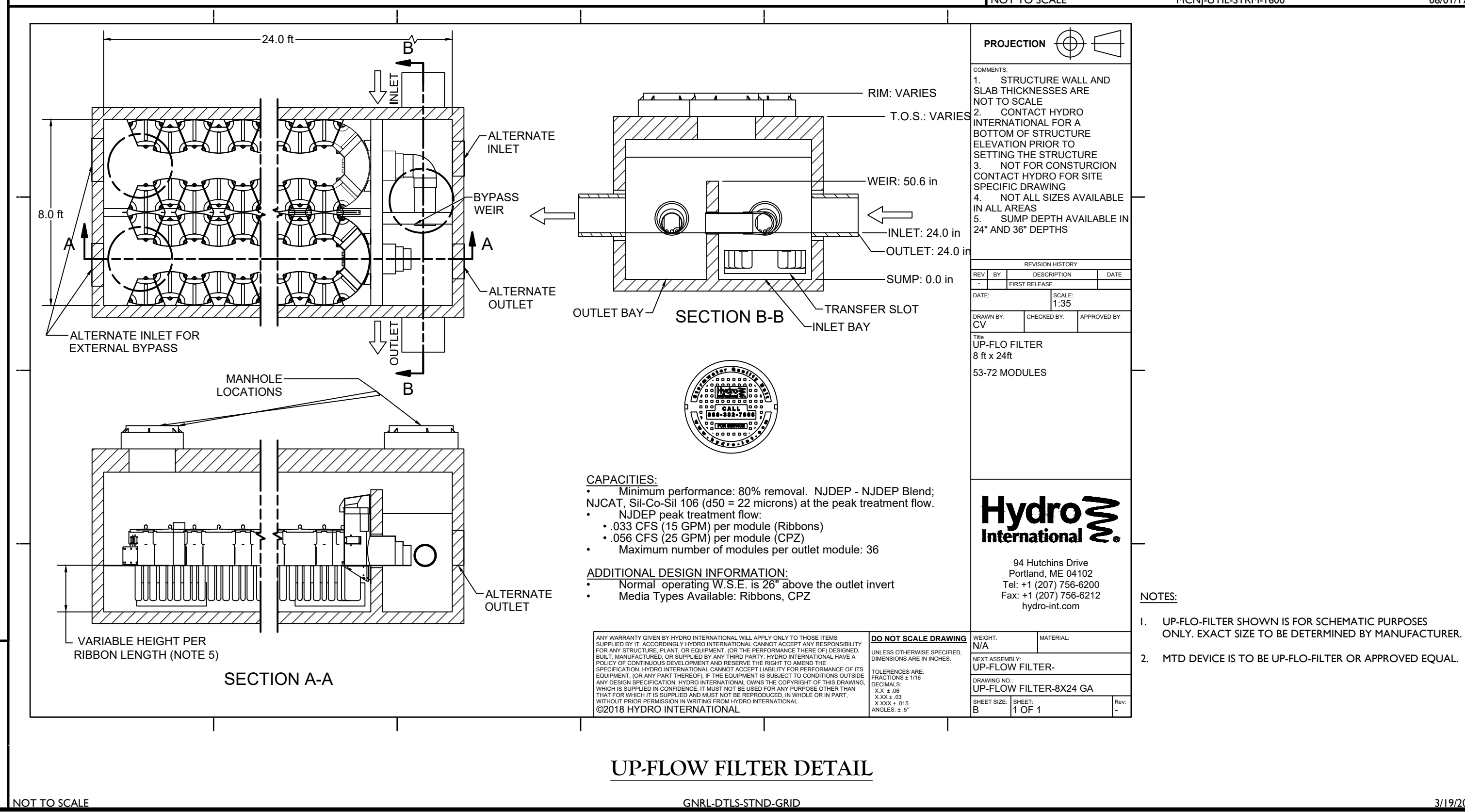
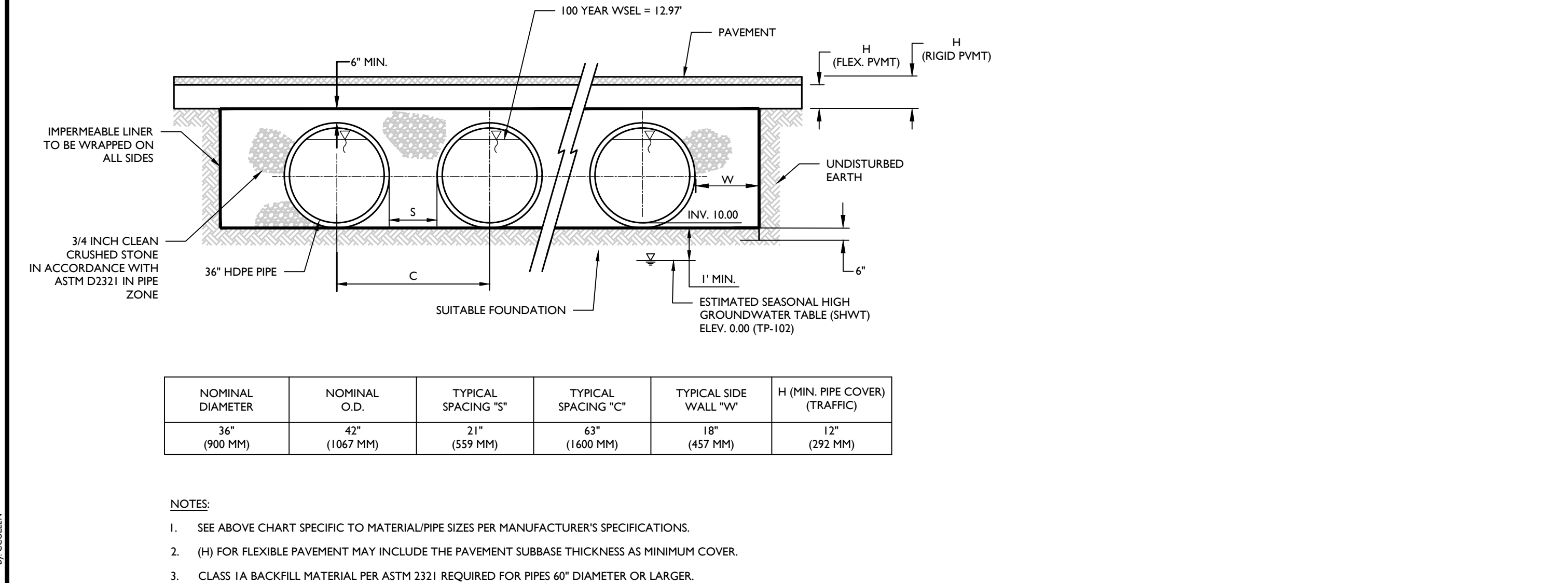
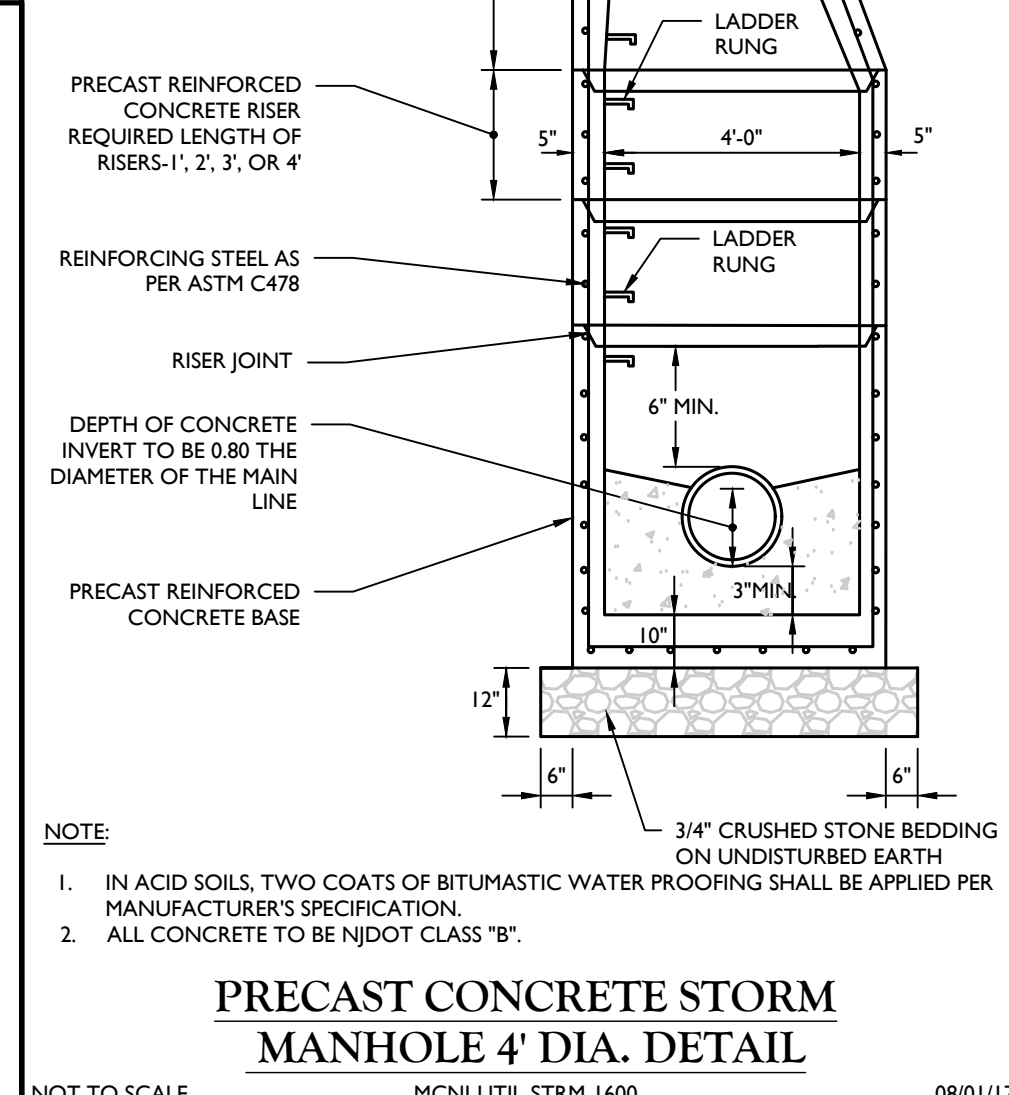
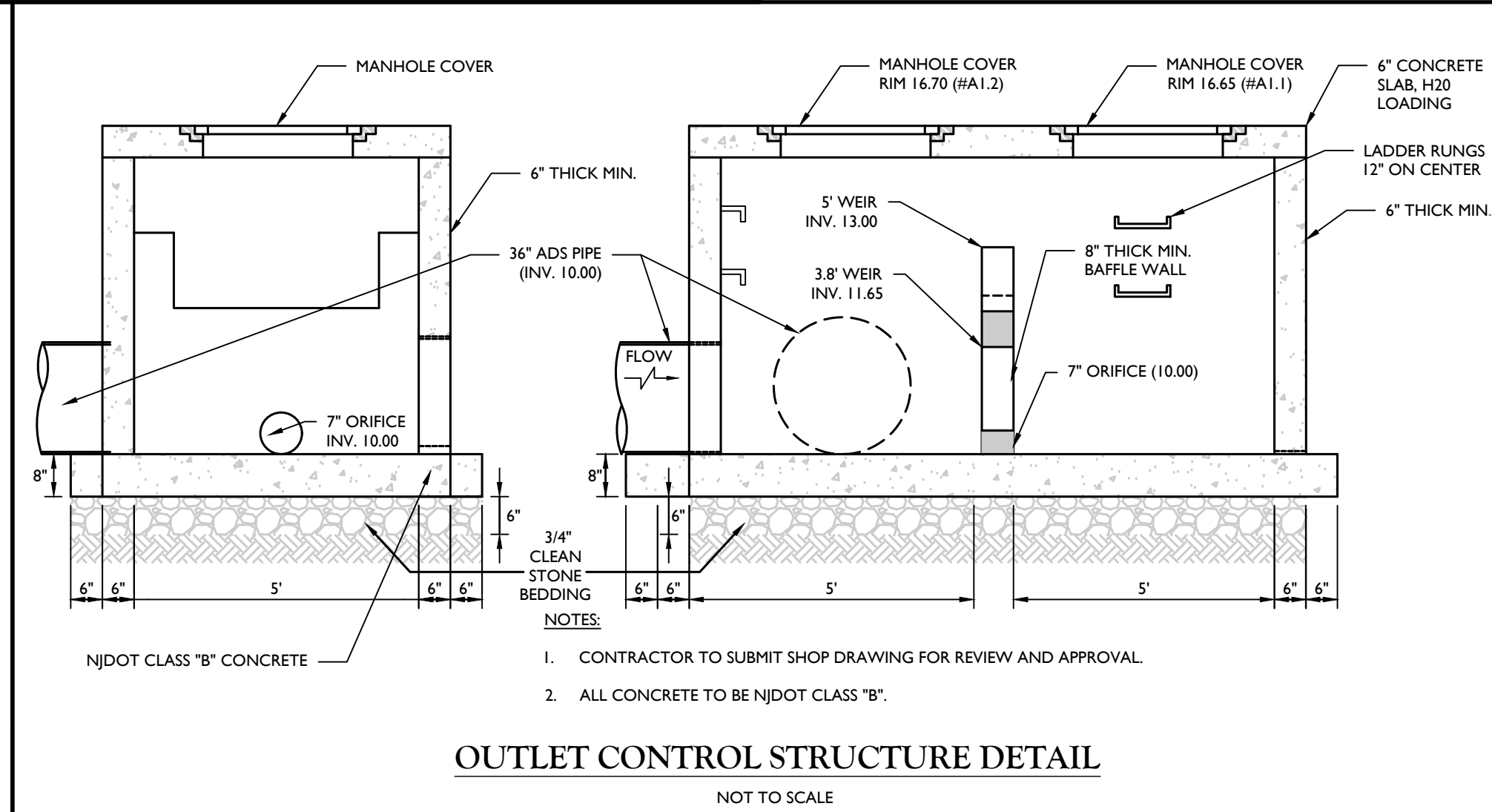
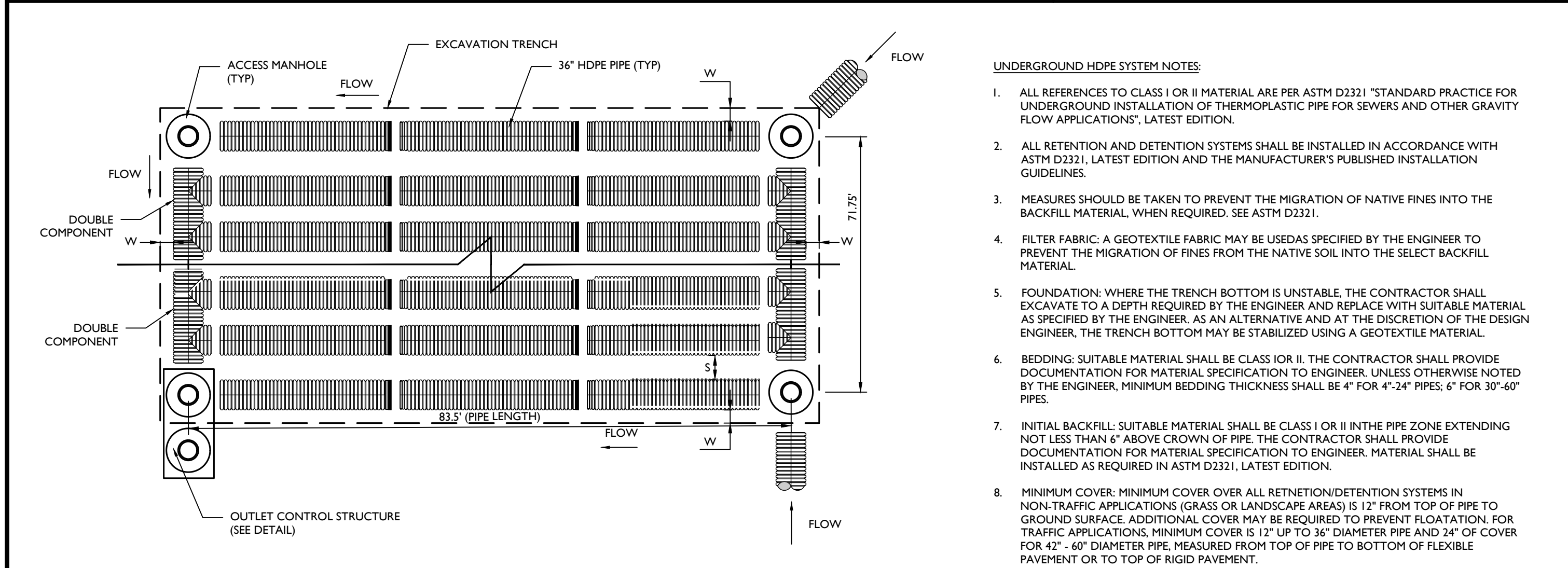
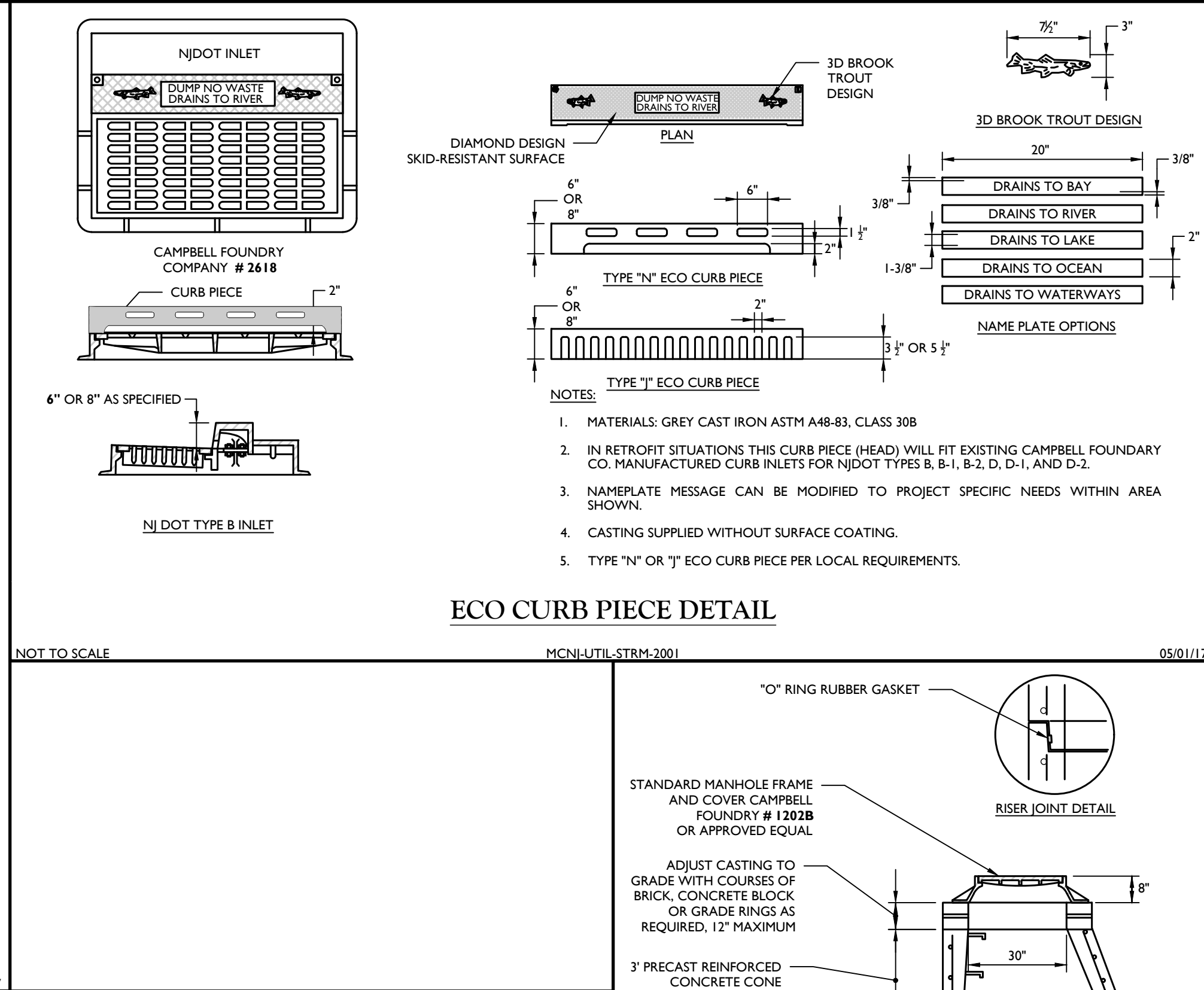
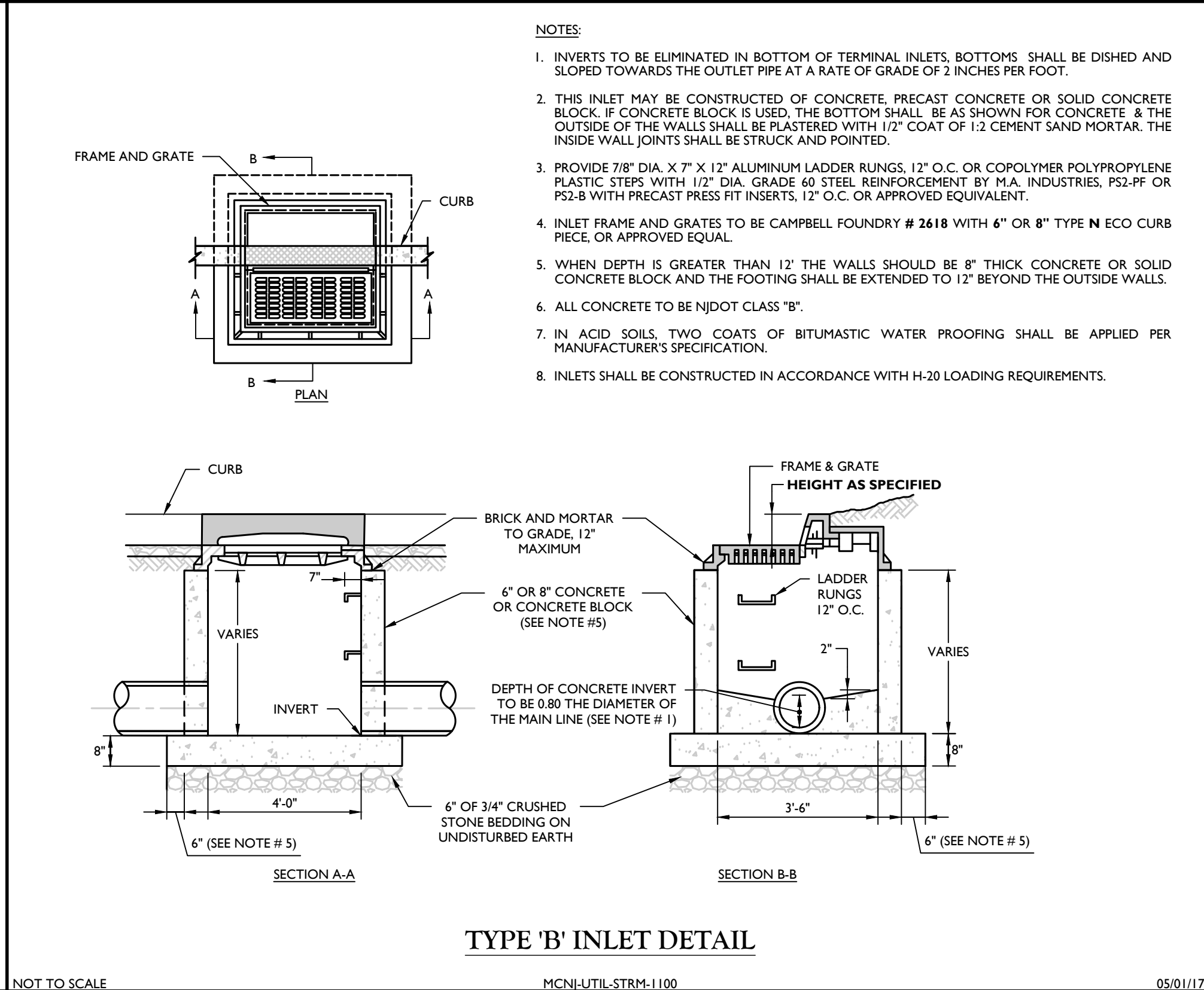
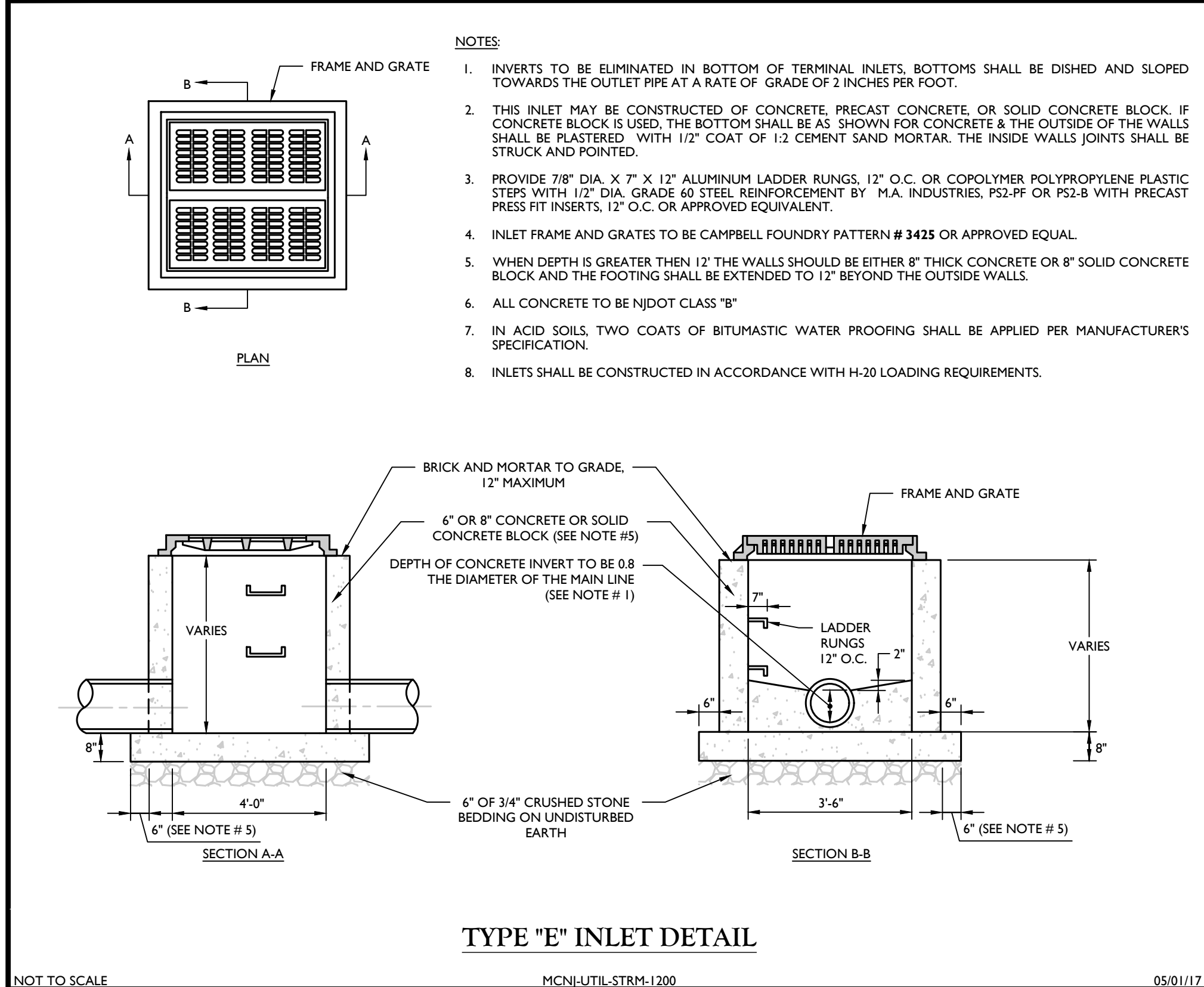
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AMENDED PRELIMINARY AND FINAL MAJOR SITE PLAN FOR WAWA LINDEN

BLOCK 436 LOT 11.01

CITY OF LINDEN UNION COUNTY NEW JERSEY

RED BANK OFFICE  
Corporate Headquarters  
331 Newman Springs Road  
Suite 203  
Red Bank, NJ 07701  
Phone: 732.383.1950  
Fax: 732.383.1984

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AS SHOWN	3/20/2020	PCS	MFG

PROJECT NUMBER	DRAWING NAME
15002372A	C-DTLLS

SHEET TITLE: CONSTRUCTION DETAILS

SHEET NUMBER: 18 of 20







