# **USGS MAP**

# PROPERTY OWNERS LIST

1203 W ST GEORGE AVE LINDEN NJ 07036   22 WHEATSHEAF RD CLARK, NJ 07036   12 WHEATSHEAF RD CLARK, NJ 07036   20 CLARK, NJ 07036   21 CLARK, NJ 07036   22 CLARK, NJ 07036   23 CLARK, NJ 07036   24 CLARK, NJ 07036   25	BLOCK	<u>LOT</u>	OWNER	BLOCK	<u>LOT</u>	OWNER
1203 W ST GEORGE AVE   1200 W ST GEORGE AVE	469	23.01	100 FRONT ST #350	470	19	129 KIMBERLY RD
800 E sg   TH ST SUITE 100     828 HAMPDEN ST   LINDEN, NJ 107038   1   1   1   1   1   1   1   1   1	469	36.01	1203 W ST GEORGE AVE	470	20.01	
600 E9FH ST SUITE 100   100	469	38.03	600 E 96 <sup>TH</sup> ST SUITE 100	470	20.02	
PO BOX 8499   PHILADELPHIA, PA 19101   S18 HAMPDEN ST   LINDEN, NJ 07036	469	38.04	600 E 96 <sup>TH</sup> ST SUITE 100	470	20.03	824 HAMPDEN ST
3 COMMERCIAL PL - BOX 209	469	40	PO BOX 8499	470	21	818 HAMPDEN ST
PO BOX 40509   INDIANAPOLIS, IN 46240	469	42	3 COMMERCIAL PL - BOX 209	470	22	816 HAMPDEN ST
WS2F-96 ONE MERCK OR	470	7.03	PO BOX 40509	470	23	
8343 DOUGLAS AVE, STE 200	470	8	WS2F-96 ONE MERCK DR	470	24	810 HAMPDEN ST
8343 DOUGLAS AVE, STE 200	470	9.01	8343 DOUGLAS AVE, STE 200	470	25.01	
8343 DOUGLAS AVE, STE 200   806 HAMPDEN ST   LINDEN, NJ 07036     470	470	9.02	8343 DOUGLAS AVE, STE 200	470	25.02	150-21 SEVENTY FIFTH #2F
924 HAMPDEN ST	470	9.03	8343 DOUGLAS AVE, STE 200	580	25.01	
920 HAMPDEN ST	470	12	924 HAMPDEN ST	580	25.01	1331 US RT 1
16 HAMPOEN ST	470	13	920 HAMPDEN ST	580	31.03	301 N WOOD AVE
912 HAMPDEN ST LINDEN, NJ 07036 2359 RESEARCH CT WOODBRIDGE, VA 22192 470 16 KUMAR, BHUPENDER 580 31.06 HD DEVELOPMENT OF MD C/O	470	14	916 HAMPDEN ST	580	31.04	
	470	15	912 HAMPDEN ST	580	31.05	2359 RESEARCH CT
LINDEN, NJ 07036 ATLANTA, GA 30348	470	16	908 HAMPDEN ST	580	31.06	
470 17 CERDEIRA, MERCEDES - SANCHEZ, ELBA 580 31.07 AVIATION MARKETPLACE LLC 9 42 BAYVIEW AVE LINDEN, NJ 07036 580 31.07 HANNHASSET, NY 11030	470	17	904 HAMPTON ST	580	31.07	
470 18 MWANGI, PATRICK 902 HAMPDEN ST LINDEN, NJ 07036	470	18	902 HAMPDEN ST			
	NE ELIZABE	THTOWN PLAZA			AVENUE	
MICHAEL F. STONAC, MANAGER ENGINEERING DESIGN  ONE ELIZABETHTOWN PLAZA, 3 <sup>RD</sup> FL. EAST  UNION, NJ 07083  COMCAST CABLE  800 RAHWAY AVENUE  UNION, NJ 07083	GIS SUPERVIS NEW JERSEY 1025 LAUREL	SOR -AMERICAN WA <sup>T</sup> OAK ROAD	TER COMPANY, INC.	RIGHT OF WA	AY DEPT-26 <sup>TH</sup> FL I STREET	
ONE ELIZABETHTOWN PLAZA, 3 <sup>RD</sup> FL. EAST 800 RAHWAY AVENUE	PUBLIC SERV	ICE ELECTRIC 8 DRPORATION PEZA, T6B		SUNOCO PIP RIGHT OF WA MONTELLO O 525 FRITZTO' SINKING SPR	AY DEPT. COMPLEX	

TRENTON, NJ 08625

# **OWNER:**

IORTH BRUNSWICK, NJ 08902

LINDEN DEVELOPMENT, LLC 8144 WALNUT HILL LANE, SUITE 1200 DALLAS, TEXAS 75231 TEL: (646) 253-1206

# AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN

FOR —

# LINDEN DEVELOPMENT, LLC

**PROPOSED** 

# FREDDY'S FROZEN CUSTARD & STEAKBURGERS W/ DRIVE-THRU

**BLOCK 469; LOT 38.05** 

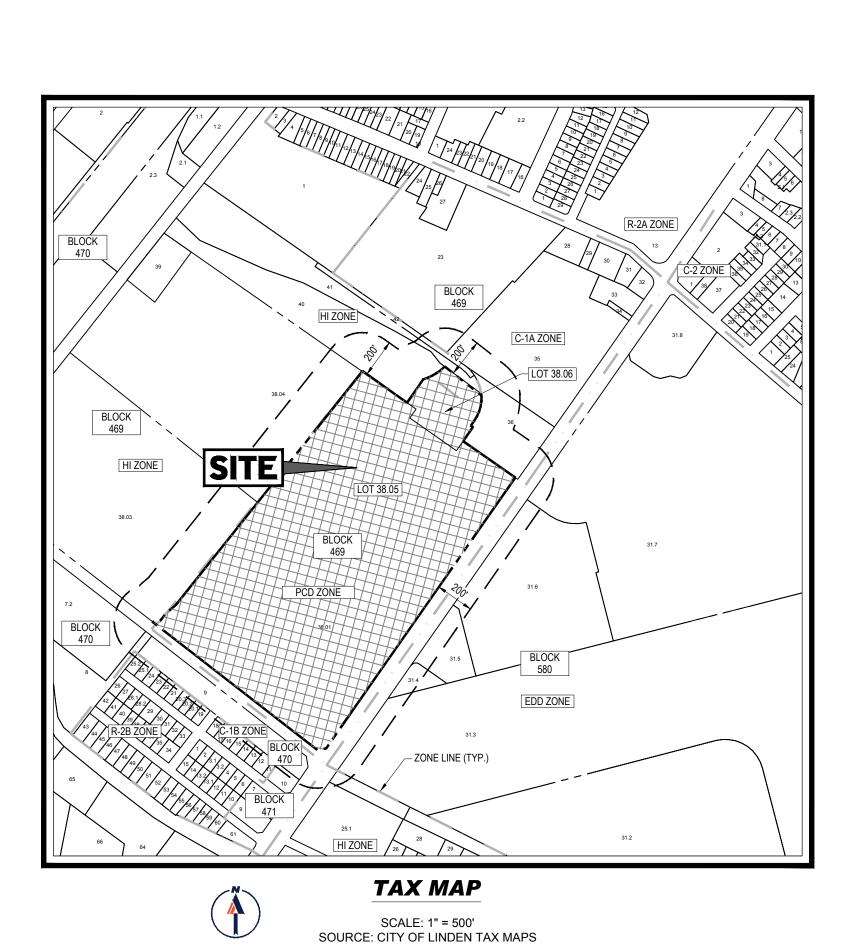
(FORMERLY BLOCK 469, LOT 38.01)

PLEASANT STREET AND EDGAR ROAD (N.J.S.H. ROUTE 1 & 9)

**CITY OF LINDEN** 

**UNION COUNTY, NEW JERSEY** 

PCD ZONE; TAX MAP SHEET #96



SOURCE: NEW JERSEY GEOGRAPHICAL INFORMATION WEBSITE (NJGIN)

**AERIAL MAP** 

PREPARED BY





KEY MAP

# **DRAWING SHEET INDEX**

SHEET TITLE	NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
ZONING NOTES SHEET	C-103
OVERALL SITE LAYOUT PLAN	C-301
SITE LAYOUT & DEMOLITION PLAN	C-302
GRADING PLAN	C-401
DRAINAGE AND UTILITIES PLAN	C-501
SOIL AND EROSION CONTROL PLAN	C-601
SOIL AND EROSION CONTROL NOTES & DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES & DETAILS	C-702
LIGHTING PLAN	C-703
DETAIL SHEET	C-901
DETAIL SHEET	C-902
DETAIL SHEET	C-903
ALTA SURVEY (BY OTHERS)	1 OF 1

# CITY APPROVAL BLOCK

CITY OF LINDEN BOARD APPROVAL	-
APPROVED BY THE CITY OF LINDEN PLANNING B	30ARD.
BOARD SECRETARY	DATE
BOARD CHAIRPERSON	DATE
BOARD FNGINFFR	DATE
BUARD ENGINEER	DATE

# **COUNTY APPROVAL BLOCK**

UNION COUNTY BOARD APPROVAL APPROVED BY THE CITY OF LINDEN PLANNING E	SOARD.
BOARD SECRETARY	DATE
BOARD CHAIRPERSON	DATE
BOARD ENGINEER	DATE





DRAWN BY: CAD I.D.: **AMENDED** PRELIMINARY &

FINAL MAJOR SITE PLAN LINDEN

DEVELOPMENT, PROPOSED FREDDY'S FROZEN

**CUSTARD & STEAKBURGERS WITH BLOCK 469; LOT 38.05** PLEASANT STREET AND EDGAR ROAD

(N.J.S.H. ROUTE 1 & 9)

CITY OF LINDEN

UNION COUNTY, NEW JERSEY

30 INDEPENDENCE BLVD., SUITE 200 www.BohlerEngineering.com

NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH0001

D.F. WISOTSKY

:PROFESSIONAL ENGINEER. NEW JERSEY LICENSE No. 42951 CONNECTICUT LICENSE No. 22098

NEW YORK LICENSE No. 073745

**COVER** SHEET

C-101

WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND. IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE RECOMMENDATIONS, MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS, PRIOR TO PROCEEDING WITH ANY FURTHER WORK. IF A GEOTECHNICAL REPORT WAS NOT CREATED, THEN THE CONTRACTOR MUST FOLLOW AND COMPLY WITH ALL OF THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE SPECIFICATIONS WHICH HAVE JURISDICTION OVER THIS PROJECT ENGINEER OF RECORD IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN AND WHERE SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED

DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES. ALL OF THIS WORK IS TO BE PERFORMED AT CONTRACTOR'S SOLE COST AND EXPENSE THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT. STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS

SOIL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES, TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST. THE CONTRACTOR MUST REPAIR, AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC, AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE. BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE. WIRING CONDUITS. AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES,

THE ENGINEER OF RECORD AND BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME. THE ENGINEER OF RECORD AND BOHLER ENGINEERING HAVE NOT BEEN RETAINED TO PERFORM OR TO BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER OF RECORD'S AND BOHLER ENGINEERING SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD AND BOHLER ENGINEERING ARE NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES OR ANY JOB SITE CONDITIONS. AT ANY TIME THE CONTRACTOR MUST IMMEDIATELY IDENTIFY IN WRITING. TO THE ENGINEER OF RECORD AND BOHLER ENGINEERING, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF THE CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER WRITTEN NOTIFICATION AS DESCRIBED ABOVE, IT WILL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, THE CONTRACTOR MUST INDEMNIFY, DEFEND AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER ENGINEERING FOR ANY

REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE CONTRACTOR

MUST, PROMPTLY, DOCUMENT ALL EXISTING DAMAGE AND NOTIFY, IN WRITING, THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE

START OF CONSTRUCTION.

RELATED TO SAME.

BUT NOT LIMITED TO ANY THIRD PARTY AND FIRST PARTY CLAIMS THE ENGINEER OF RECORD AND BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS, AND CURRENT CODES, RULES, STATUTES AND THE LIKE. IF THE CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, RULES, STATUTES, CODES AND THE LIKE, THE CONTRACTOR AND/OR OWNER AGREE TO AND MUST JOINTLY, INDEPENDENTLY, SEPARATELY, AND SEVERALLY INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER ENGINEERING HARMLESS FOR AND FROM ALL INJURIES, CLAIMS AND DAMAGES THAT ENGINEER AND BOHLER ENGINEERING SUFFER AND ANY AND ALL COSTS THAT ENGINEER AND BOHLER ENGINEERING INCUR AS

AND ALL DAMAGES. COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM OR ARE IN ANY WAY RELATED TO SAME INCLUDING.

ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALLY REASONABLE STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND COMMERCIAL GENERAL LIABILITY INSURANCE (CGL) INCLUDING ALSO ALL AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS EMPLOYEES AFFILIATES SUBSIDIARIES AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE (DEFEND. IF APPLICABLE) AND HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED AND AGREED TO BY THE CONTRACTOR HEREIN, ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE OR CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE COVERAGES PRIOR TO

COMMENCING ANY WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR TWO YEARS AFTER THE COMPLETION OF CONSTRUCTION AND AFTER ALL PERMITS ARE ISSUED, WHICHEVER DATE IS LATER. IN ADDITION, ALL CONTRACTORS AGREE THAT THEY WILL. TO THE FULLEST EXTENT PERMITTED UNDER THE LAW. INDEMNIFY. DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST. PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, ACTIONS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS'

FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE

CONTRACTOR(S), ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. THE CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HERELINDER. THE ENGINEER OF RECORD AND BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS. MEANS. TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK DEPICTED BOTH ON THESE PLANS, AND FOR ANY CONFLICTS IN SCOPE AND REVISIONS THAT RESULT FROM SAME. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS. EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE (HEREIN "BOHLER ENGINEERING PARTIES"), RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECALITIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY, BOHLER ENGINEERING AND ITS EMPLOYEES, PERSONNEL, AGENTS, SUBCONTRACTORS AND SUBCONSULTANTS HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER (OR ANY RESPONSIBILITY FOR) ANY CONSTRUCTION, THE CONTRACTOR

OR ITS EMPLOYEES RELATING TO THEIR WORK AND ANY AND ALL HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR MUST INDEMNIFY, DEFEND, PROTECT AND HOLD HARMLESS BOHLER ENGINEERING FOR AND FROM ANY LIABILITY TO BOHLER ENGINEERING RESULTING FROM THE CONTRACTOR'S WORK, SERVICES AND/OR VIOLATIONS OF THIS NOTE, THESE NOTES OR ANY NOTES IN THE PLAN SET AND. FURTHER. THE CONTRACTOR MUST NAME BOHLER ENGINEERING AS AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE. WHEN IT IS CLEARLY AND SPECIFICALLY WITHIN BOHLER ENGINEERING'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF EVALUATING

AND METHODS AND/OR TECHNIQUES OR PROCEDURES. COORDINATION OF THE WORK WITH OTHER TRADES. AND CONSTRUCTION SAFETY. PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER ENGINEERING HAS NO RESPONSIBILITY OR LIABILITY FOR SAME. BOHLER ENGINEERING WILL PERFORM ITS SHOP DRAWING REVIEW WITH REASONABLE PROMPTNESS, AS CONDITIONS PERMIT. ANY DOCUMENT, DOCUMENTING BOHLER ENGINEERING'S REVIEW OF A SPECIFIC ITEM OR LIMITED SCOPE, MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING IS NOT RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR MUST, IN WRITING, PROMPTLY AND IMMEDIATELY BRING ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS TO BOHLER ENGINEERING'S ATTENTION. BOHLER ENGINEERING IS NOT REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED

CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS

OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER OF RECORD AND/OR BOHLER ENGINEERING FOR ALL DEVIATIONS WITHIN ENGINEER'S SCOPE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, MUST DEFEND, INDEMNIFY, PROTECT, AND HOLD HARMLESS THE ENGINEER OF RECORD AND BOHLER ENGINEERING PARTIES TO THE FULLEST EXTENT PERMITTED UNDER THE LAW. FOR AND FROM ALL FEES. ATTORNEYS' FEES. DAMAGES. COSTS. JUDGMENTS. CLAIMS. INJURIES. PENALTIES AND THE LIKE RELATED TO SAME. THE CONTRACTOR IS RESPONSIBLE FOR A MAINTAINING AND PROTECTING THE TRAFFIC CONTROL PLAN AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE AND IS THE CONTRACTOR'S SOLE RESPONSIBILITY.

IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST

OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN: AND. FURTHER, THE ENGINEER OF RECORD AND/OR BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD THE ENGINEER OF RECORD AND BOHLER ENGINEERING PARTIES, HARMLESS FOR ALL INJURIES, DAMAGES AND COSTS THAT ENGINEER OF RECORD AND/OR BOHLER ENGINEERING INCUR AS A RESULT OF SAID FAILURE OR FAILURE TO PRESERVE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES AND MATERIALS COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL. STATE AND LOCAL RULES AND REGULATIONS, LAWS, ORDINANCES, AND CODES, AND ALL APPLICABLE REQUIREMENTS OF

THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. (29 U.S.C. 651 ET SEQ.) AS AMENDED. AND ANY MODIFICATIONS. AMENDMENTS OR REVISIONS THE CONTRACTOR MUST STRICTLY COMPLY WITH THE LATEST AND CURRENT OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION OVER EXCAVATION AND TRENCHING PROCEDURES. ENGINEER OF RECORD AND BOHLER ENGINEERING HAS NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES AND WORK.

THE CONTRACTOR AND THE OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF THE CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY, INDEPENDENTLY, SEPARATELY, COLLECTIVELY, AND SEVERALLY INDEMNIFY, DEFEND, PROTECT AND HOLD ENGINEER OF RECORD AND/OR BOHLER ENGINEERING PARTIES HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN AN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY (FPA) REQUIREMENTS OR LOCAL GOVERNING AGENCY FOR SITES WHERE ONE (1) ACRE OR MORE IS DISTURBED BY CONSTRUCTION ACTIVITIES (UNI ESS THE LOCAL JURISDICTION REQUIRES A DIFFERENT THRESHOLD). THE CONTRACTOR MUST ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF ALL SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED D LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE AND FURTHER, THE CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR FAILING TO DO SO.

AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER OF RECORD, THE USE OF THE WORDS 'CERTIFY' OR 'CERTIFICATION' CONSTITUTE(S) AN EXPRESSION ONLY OF PROFESSIONAL OPINION REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE ENGINEER OF RECORD'S KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON AND ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE OF ANY NATURE OR TYPE, EITHER EXPRESSED OR IMPLIED, UNDER ANY CIRCUMSTANCES.

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. THE CONTRACTOR MUST CONDUCT DEMOLITION/REMOVALS ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM

**DEMOLITION NOTES** 

PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.

NOTIFICATION SYSTEM TO LOCATE ALL UNDERGROUND UTILITIES.

INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND ALL OTHER ADJACENT FACILITIES. THE CONTRACTOR MUST OBTAIN ALL APPLICABLE PERMITS FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY(IES) PRIOR TO THE COMMENCEMENT OF ANY ROAD OPENING OR DEMOLITION ACTIVITIES IN OR ADJACENT TO THE RIGHT-OF-WAY WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY. THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), AND THE FEDERAL, STATE, AND LOCAL

4. THE DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR TO REMAIN. A. THE CONTRACTOR MUST ALSO REVIEW ALL CONSTRUCTION DOCUMENTS AND INCLUDE WITHIN THE DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS. B. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK. ALL MEANS, METHODS, SEQUENCING,

TECHNIQUES AND PROCEDURES TO BE USED MUST BE IN STRICT ACCORDANCE AND CONFORMANCE WITH ALL STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS, THE CONTRACTOR MUST COMPLY WITH ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE FOR THE CONTRACTOR AND THE PUBLIC. 5. THE CONTRACTOR MUST PROVIDE ALL "METHODS AND MEANS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES. AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR, AT THE CONTRACTOR'S SOLE COST, MUST REPAIR ALL DAMAGE TO ALL ITEMS AND FEATURES THAT ARE TO REMAIN. CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTOR'S REPAIRS MUST INCLUDE THE RESTORATION OF ALL ITEMS AND FEATURES REPAIRED TO THEIR PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR MUST

S. ENGINEER OF RECORD AND/OR BOHLER ENGINEERING ARE NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, COMPLYING WITH ALL OSHA REQUIREMENTS. TO ENSURE PUBLIC AND CONTRACTOR SAFETY AND SAFETY TO ALL PROPERTY ON THE SITE OR ADJACENT OR THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY. WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS. NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR MUST SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF

ALL UNAUTHORIZED PERSONS AT ANY TIME. TO OR NEAR THE DEMOLITION AREA. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS AND/OR SPECIFICATIONS, ALL CONCERNS OR QUESTIONS REGARDING THE APPLICABLE SAFETY STANDARDS. AND/OR THE SAFETY OF THE CONTRACTOR AND/OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT. ANY SUCH CONCERNS MUST BE CONVEYED TO THE ENGINEER OF RECORD AND/OR BOHLER ENGINEERING, IN WRITING AND MUST ADDRESS ALL ISSUES AND ITEMS RESPONDED TO, BY THE ENGINEER OF RECORD AND/OR BY BOHLER ENGINEERING, IN WRITING. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN CCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND

LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES, THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AND/OR DISCONNECTION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED. REMOVED AND/OR ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES

10. PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST: A OBTAIN ALL REQUIRED PERMITS AND MAINTAIN THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND ALL PUBLIC. AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK B. NOTIFY, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION JURISDICTION, AT

LEAST 72 BUSINESS HOURS PRIOR TO THE COMMENCEMENT OF WORK INSTALL THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE, AND MAINTAIN SAID CONTROLS UNTIL SITE IS STABILIZED D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARK OUT. IN ADVANCE OF ANY EXCAVATION. E. LOCATE AND PROTECT ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY

PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ANY DEMOLITION ACTIVITIES. G. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE REQUIRED BY THE PROJECT PLANS AND SPECIFICATIONS REGARDING THE METHODS AND MEANS TO CONSTRUCT SAME. THESE ARE NOT THE ENGINEER OF RECORD'S RESPONSIBILITY. IN THE EVENT OF ABANDONMENT, THE CONTRACTOR MUST PROVIDE THE UTILITY ENGINEER AND OWNER WITH IMMEDIATE WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

H. ARRANGE FOR AND COORDINATE WITH THE APPLICABLE UTILITY SERVICE PROVIDER(S) REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS NECESSARY OR AS REQUIRED TO MINIMIZE THE IMPACT ON, OF AND TO THE AFFECTED PARTIES. WORK REQUIRED TO BE PERFORMED "OFF-PEAK" IS TO BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, OR THE CONTRACT WITH THE OWNER/DEVELOPER, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK IN THE AREA OF DISCOVERY, AND IMMEDIATELY NOTIFY, IN WRITING AND VERBALLY, THE OWNER AND ENGINEER OF RECORD AND BOHLER ENGINEERING. THE DISCOVERY OF SUCH MATERIALS TO PURSUE PROPER AND COMPLIANT REMOVAL OF SAME. THE CONTRACTOR MUST ENSURE THAT ANY EXISTING ASBESTOS-CONTAINING MATERIALS ENCOUNTERED ARE PROPERLY

REMOVED FROM THE SUBJECT PREMISES AND ARE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS, PRIOR TO THE COMMENCEMENT OF DEMOLITION ON SITE AND MUST PERFORM ALL AGENCY NOTIFICATIONS AS REQUIRED AT THE CONTRACTOR'S SOLE EXPENSE 12. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE, UNLESS SAME IS IN STRICT ACCORDANCE AND CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS, OR PURSUANT TO THE WRITTEN DIRECTION OF THE OWNER'S

STRUCTURAL OR GEOTECHNICAL ENGINEER. 13. DEMOLITION ACTIVITIES AND EQUIPMENT MUST NOT USE OR INCLUDE AREAS OUTSIDE THE DEFINED PROJECT LIMIT LINE WITHOUT SPECIFIC WRITTEN PERMISSION AND AUTHORITY OF AND FROM THE OWNER AND ALL GOVERNMENTAL AGENCIES. WITH JURISDICTION.

14.  $\,$  THE CONTRACTOR MUST BACKFILL ALL EXCAVATION RESULTING FROM, OR INCIDENTAL TO, DEMOLITION ACTIVITIES. BACKFILL MUST BE ACCOMPLISHED WITH APPROVED BACKFILL MATERIALS AND MUST BE SUFFICIENTLY COMPACTED TO SUPPORT ALL NEW IMPROVEMENTS AND MUST BE PERFORMED IN COMPLIANCE WITH THE RECOMMENDATIONS AND GUIDANCE ARTICULATED IN THE GEOTECHNICAL REPORT. BACKFILLING MUST OCCUR IMMEDIATELY AFTER DEMOLITION ACTIVITIES AND MUST BE PERFORMED SO AS TO PREVENT WATER ENTERING THE EXCAVATION. FINISHED SURFACES MUST BE GRADED TO PROMOTE POSITIVE DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR COMPACTION TESTING AND MUST SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND THE OWNER. 15. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE

AND EXPLOSIVE CONTROL MEASURES THAT THE FEDERAL STATE AND LOCAL GOVERNMENTS REQUIRE THE CONTRACTOR IS ALSO RESPONSIBLE TO CONDUCT AND PERFORM ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES AND THE LIKE. 16. IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS, THE CONTRACTOR MUST USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR. AFTER THE DEMOLITION IS COMPLETE, THE CONTRACTOR MUST CLEAN ALL ADJACENT STRUCTURES AND IMPROVEMENTS TO REMOVE ALL DUST AND DEBRIS WHICH THE

DEMOLITION ACTIVITIES, THE CONTRACTOR MUST ENSURE AND OVERSEE THE INSTALLATION OF ALL OF THE REQUIRED PERMIT

DEMOLITION OPERATIONS CAUSE. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION AT CONTRACTOR'S SOLE COST 17. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF

EXCAVATION. STOCKPILING OF DEBRIS OUTSIDE OF APPROVED AREAS WILL NOT BE PERMITTED, INCLUDING BUT NOT LIMITED TO THE PUBLIC RIGHT-OF-WAY 18 THE CONTRACTOR MUST MAINTAIN A RECORD SET OF PLANS WHICH INDICATES THE LOCATION OF EXISTING UTILITIES THAT ARE

CAPPED, ABANDONED IN PLACE, OR RELOCATED DUE TO DEMOLITION ACTIVITIES. THIS RECORD DOCUMENT MUST BE PREPARED IN A NEAT AND WORKMAN-I IKE MANNER AND TURNED OVER TO THE OWNER/DEVELOPER UPON COMPLETION OF THE WORK, ALL OF WHICH IS AT THE CONTRACTOR'S SOLE COST.

THE CONTRACTOR MUST EMPTY, CLEAN AND REMOVE FROM THE SITE ALL UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL REQUIREMENTS, PRIOR TO CONTINUING CONSTRUCTION IN THE AREA AROUND THE TANK WHICH EMPTYING, CLEANING AND REMOVAL ARE AT THE CONTRACTOR'S SOLE COST.

# ACCESSIBILITY DESIGN GUIDELINES

ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET. AT A MINIMUM. THE MORE STRINGENT OF: (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.); AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE COMPLETED THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND

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ONSISTENCY WITH INDUSTRY GUIDELINES. THE CONTRACTOR MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ACCESSIBLE (ADA) COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES. PUBLIC TRANSPORTATION. PEDESTRIAN ACCESS. AND INTER-BUILDING ACCESS. TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THE ACCESSIBLE GUIDELINES AND REQUIREMENTS WHICH INCLUDE, BUT ARE

ACCESSIBLE PARKING SPACES AND ACCESS AISLES SLOPES MUST NOT EXCEED 1:50 (2.0%) IN ANY DIRECTION. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCHES MINIMUM WIDTH (48-INCHES PREFERRED). OR AS SPECIFIED BY THE GOVERNING AGENCY, UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH. THE SLOPE MUST NOT EXCEED 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (2.0%) IN CROSS SLOPE. WHERE ACCESSIBLE PATH OF TRAVEL IS GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP MUST BE PROVIDED. ALONG THE ACCESSIBLE PATH OF TRAVEL, OPENINGS MUST NOT EXCEED 1/2-INCH IN WIDTH. VERTICAL CHANGES OF UP TO 1/2-INCH ARE PERMITTED ONLY IF THEY INCLUDES A 1/4-INCH BEVEL AT A SLOPE NOT

STEEPER THAN 1:2. NO VERTICAL CHANGES OVER 1/4-INCH ARE PERMITTED.

ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES, LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMPS. LANDING MUST PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES, AND MUST NOT EXCEED 1:50 (2.0%) SLOPE IN ANY DIRECTION. RAMPS THAT CHANGE DIRECTION BETWEEN RUNS AT LANDINGS MUST HAVE A CLEAR LANDING OF A MINIMUM OF 60-INCHES BY 60-INCHES. <u>HAND RAILS</u> ON BOTH SIDES OF THE RAMP MUST BE PROVIDED ON AN ACCESSIBLE RAMP WITH A RISE GREATER THAN 6-INCHES. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%). WHERE FLARED SIDES ARE PROVIDED, THEY MUST NOT EXCEED 1:10 (10%) SLOPE. LEVEL LANDING MUST BE PROVIDED AT RAMPS TOP AT A MINIMUM OF 36-INCHES LONG (48-INCHES PREFERRED). IN ALTERATIONS, WHEN THERE IS NO LANDING AT THE TOP, FLARE SIDES SLOPES MUST NOT FXCEED A SLOPE OF 1:12 (8.3%). DOORWAY LANDINGS AREAS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH

F TRAVEL. THIS LANDING MUST BE SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO FEWER THAN 60-INCHES (5 FEET) LONG. EXCEPT WHERE OTHERWISE CLEARLY PERMITTED BY ACCESSIBLE STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2009 AND OTHER REFERENCES INCORPORATED BY CODE). WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ACCESSIBLE COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, THE CONTRACTOR MUST VERIFY ALL EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. THE CONTRACTOR MUST

IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING, OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR IN ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS BEFORE COMMENCING ANY WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ACCESSIBLE GUIDELINES. G. THE CONTRACTOR MUST VERIFY ALL OF THE SLOPES OF THE CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE EXISTS OR IS OBSERVED OR DISCOVERED, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE FNGINEER OF RECORD. IN WRITING, PRIOR TO POURING CONCRETE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL

4. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION TO ENSURE SAME IS CONSISTENT WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCING CONSTRUCTION. ANY WORK PROPOSED IN THE STATE OF NEW JERSEY MUST CONFORM TO THE NJ UNIFORM CONSTRUCTION CODE SUBCHAPTER 7, BARRIER-FREE ACCESS.

COSTS TO REMOVE. REPAIR AND/OR REPLACE NON-CONFORMING CONCRETE AND/OR PAVEMENT SURFACES.

SITE LAYOUT NOTES

DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES. IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT OF WAY ALL DIRECTIONAL/TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS.

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT.

GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE. THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN

DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF INLETS, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE. WHEN APPLICABLE, OWNER/ OPERATOR MUST FILE THE NOI FOR NPDES PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS REEN RECEIVED FROM GOVERNING AUTHORITIES (INCLUDING STORMWATER POLLUTION PREVENTION PLAN, PER NJDEP REQUIREMENTS). THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED SWPPP PLAN DURING

CONSTRUCTION OPERATIONS (IF PROVIDED). ALL WEATHERED CONCRETE MUST BE AIR ENTRAINED AND INCLUDE THE MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT THE CONTRACTOR MUST REPAIR OR REPLACE, AT THE CONTRACTOR'S SOLE COST AND EXPENSE, ALL SIDEWALKS, CURBS, AND PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES WHETHER SPECIFIED ON THIS PLAN OR NOT

**GRADING NOTES** 

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

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SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AS REFERENCED IN THIS PLAN SET. IF NO GEOTECHNICAL REPORT HAS BEEN REFERENCED. THE CONTRACTOR MUST HAVE A GEOTECHNICAL ENGINEER PROVIDE WRITTEN SPECIFICATIONS AND RECOMMENDATIONS PRIOR TO THE CONTRACTOR COMMENCING THE GRADING WORK. THE CONTRACTOR MUST FOLLOW THE REQUIREMENTS OF ALL MUNICIPAL, COUNTY, STATE, AND FEDERAL LAWS, WHICH HAVE JURISDICTION OVER THIS PROJECT. THE CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. THE CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO THE ENGINEER OF

RECORD AND THE OWNER PRIOR TO THE CONTRACTOR COMMENCING ANY WORK THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFYING EXISTING TOPOGRAPHIC INFORMATION AND LITH ITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. SHOULD DISCREPANCIES BETWEEN THE PLANS AND INFORMATION OBTAINED THROUGH FIELD VERIFICATIONS BE IDENTIFIED OR EXIST, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD IN WRITING

THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL UNSUITABLE MATERIALS WITH SUITABLE MATERIALS

AS SPECIFIED IN THE GEOTECHNICAL REPORT. THE CONTRACTOR MUST COMPACT ALL EXCAVATED OR FILLED AREAS IN STRICT ACCORDANCE WITH THE GEOTECHNICAL REPORT'S GUIDANCE. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. THIS REPORT MUST VERIEY THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES WHICH ARE IN EFFECT AND WHICH ARE APPLICABLE TO THE PROJECT, SUBBASE MATERIAL FOR SIDEWALKS. CURB. OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE MUST BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED AS THE GEOTECHNICAL REPORT DIRECTS. EARTHWORK

ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED FINISHED GRADES WITH NO TRIPPING OR SAFETY HAZARD IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. IN THE EVENT OF A DISCREPANCY(IES) AND/OR A CONFLICT(S) BETWEEN PLANS, OR RELATIVE TO OTHER PLANS. THE GRADING

RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS,

ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE

PLAN TAKES PRECEDENCE AND CONTROLS. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. IN WRITING, OF ANY DISCREPANCY(IES) AND/OR CONFLICT(S). THE CONTRACTOR IS RESPONSIBLE TO IMPORT FILL OR EXPORT EXCESS MATERIAL AS NECESSARY TO CONFORM TO THE PROPOSED GRADING, AND TO BACKFILL EXCAVATIONS FOR THE INSTALLATION OF UNDERGROUND IMPROVEMENTS. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE PAVEMENT GRADE UNLESS OTHERWISE NOTED. IT IS THE

CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE ENGINEER OF RECORD APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLING CURBING. THE CONTRACTOR MUST CONFIRM AND ENSURE THAT AS CONSTRUCTED IMPROVEMENTS CREATE THE FOLLOWING MINIMUM SLOPES (EXCEPT WHERE ADA REQUIREMENTS LIMIT THEM): 1.0% ON ALL CONCRETE SURFACES, 1.5% ON ASPHALT SURFACES, 2% IN LANDSCAPED AREAS AND 0.75% SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS TO PROVIDE POSITIVE DRAINAGE WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON THE PLANS TOP AND BOTTOM OF WALL ELEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF WALL AND DO NOT REPRESENT THE ELEVATION OF THE PROPOSED WALL (INCLUDING THE CAP UNIT OR FOOTING), WALL

FOOTINGS/FOUNDATION ELEVATIONS WHICH ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR, MUST BE DETERMINED AND SET BASED UPON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE THAT LICENSED STRUCTURAL ENGINEER DESIGNS ALL WALLS SHOWN HEREON AND THAT PRIOR TO CONSTRUCTION, THE MUNICIPALITY APPROVES ALL SIGNED AND SEALED SHOP DRAWINGS. FURTHER, THE CONTRACTOR MUST ENSURE THAT FENCING, GUIDERAIL, UTILITIES, AND OTHER SITE AMENITIES IN THE VICINITY OF THE RETAINING WALL(S), PROPOSED SCHEMATICALLY IN THESE PLANS, ARE MATERIALLY CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGN (BY

THE CONTRACTOR MUST ENSURE THAT THERE ARE NO UTILITIES INSTALLED ON THE PASSIVE SIDE OF THE RETAINING WALL. NO EXCAVATION MAY BE PERFORMED ON THE PASSIVE SIDE OF THE RETAINING WALL WITHOUT APPROPRIATELY AND SAFELY SUPPORTING THE WALL IN ACCORDANCE WITH THE STANDARD OF CARE AND ALL APPLICABLE RULES, REGULATIONS, CODES, ORDINANCES, LAWS AND STATUTES.

**LIGHTING NOTES** 

THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS. INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND

**GOVERNMENTAL REGULATIONS** THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES

AND OTHER RELATED VARIABLE FIELD CONDITIONS. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC). THE LUMINAIRES. LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND

RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR LIGHTING

CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS CONTRACTOR IS RESPONSIBLE FOR THE INSTALL ATION OF LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES. THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES,

OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED. THE ACTUAL LIGHTING LEVELS MUST BE VERIFIED IN THE FIELD AND FIXTURES ADJUSTED ACCORDINGLY. BY THE CONTRACTOR. TO ACHIEVE THE APPROVED LIGHT LEVELS.

10. ILLUMINATION LEVELS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR PROPOSED LIGHTS ONLY. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM EXISTING/AMBIENT LIGHTS WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN. NEW JERSEY ATM LIGHTING NOTE:

BASED ON THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS FOR BANK ATM'S (N.J.S.A. 17:16K-10), A MINIMUM OF 10 FOOT-CANDLES AT 3 FEET ABOVE GRADE MUST BE PROVIDED AT THE FACE OF AN UNENCLOSED ATM AND EXTENDING IN AN UNOBSTRUCTED DIRECTION OUTWARD 5 FEET. A MINIMUM OF 2 FOOT-CANDLES AT 3 FEET ABOVE GRADE MUST BE PROVIDED WITHIN 50 FEET IN ALL UNOBSTRUCTED DIRECTIONS FROM THE FACE OF THE ATM OR THE ENTRANCE OF AN ATM FACILITY. IN THE EVENT ANY SUCH ATM OR ATM FACILITY IS LOCATED WITHIN 10 FEET OF THE CORNER OF THE BUILDING IN WHICH IT IS LOCATED AND THE ATM OR ATM FACILITY IS GENERALLY ACCESSIBLE FROM THE ADJACENT SIDE OF SUCH BUILDING THERE MUST BE A MINIMUM OF 2 FOOT-CANDLES AT 3 FEET ABOVE GRADE ALONG THE FIRST 40 UNOBSTRUCTED FEET OF THE ADJACENT SIDE OF THE BUILDING, MEASURED FROM THE CORNER. A MINIMUM OF 2 FOOT-CANDLES AT 3 FEET ABOVE GRADE MUST BE PROVIDED IN THAT PORTION OF THE DEFINED PARKING AREA WITHIN 60 FEET OF AN ATM OR THE ENTRANCE TO AN

14. ILLUMINATION LEVELS SHOWN ON THE PLAN WERE CALCULATED WITH LIGHTING DESIGN SOFTWARE AGI32 BY LIGHTING

## GAS SERVICE NOTE (Rev. 1/2020) CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE, OTHERWISE REMOVE EXISTING GAS

SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE W/ LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN

MUST BE APPROVED BY LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED

FOR LOCATION W/ GAS COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF

SANITARY SEWER SERVICE NOTE CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING SEWER SERVICE LINE CAP AT MAIN IN R.O.W. IN ACCORDANCE W/LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN

THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION W/SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN

MUST BE APPROVED BY LOCAL SEWER AUTHORITY PRIOR TO COMPLETION, IE EXISTING SEWER SERVICE, CAN NOT BE UTILIZED.

ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

# WATER SERVICE NOTE

EXISTING SERVICE AND INSTALLATION OF NEW SERVICE

CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE W/ LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY LOCAL WATER COMPANY PRIOR TO COMPLETION. IF EXISTING WATER SERVICE CAN NOT BE UTILIZED THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION W/ WATER COMPANY, CONTRACTOR MUST OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

# PARTIAL SITE PLAN NOTE

THE SITE DESIGN INFORMATION INCLUDING, BUT NOT LIMITED TO, DRAWINGS, NOTATIONS AND/OR CALCULATIONS WHICH THE ENGINEER OF RECORD IS PROVIDING WITHIN THIS PLAN IS STRICTLY LIMITED TO ONLY THAT AREA OF THE SITE WHICH IS DESCRIBE AS THE "SUBJECT AREA OF THIS PLAN". ANY INFORMATION WHICH IS INCLUDED ON THIS PLAN, BUT WHICH IS NOT INCLUDED IN THE AREA DESCRIBED AS THE "SUBJECT AREA OF THIS PLAN" CONSTITUTE GRAPHICAL REPRESENTATIONS OF EXISTING CONDITIONS ONLY. TAKEN FROM THE REFERENCED DOCUMENTS AND INFORMATION. THIS INFORMATION IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY "GRAPHICAL REPRESENTATIONS OF EXISTING CONDITIONS" ARE NOT PART OF ENGINEER OF RECORD'S WORK AND ARE NOT PART OF THE SITE DESIGN. THE ENGINEER, CONSEQUENTLY, IS NOT RESPONSIBLE FOR THE ACCURACY OF GRAPHICAL REPRESENTATIONS

DRAINAGE AND UTILITY NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN. AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE, AND THE CONTRACTOR MUST INDEPENDENTLY ERIFY AND CONFIRM THOSE LOCATIONS AND SERVICES WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY CONSTRUCTION OR EXCAVATION. THE CONTRACTOR MUST INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION POINTS AND ALL OTHER UTILITY SERVICE CONNECTION POINTS IN THE FIELD, PRIOR TO COMMENCING ANY CONSTRUCTION, THE CONTRACTOR MUST REPORT ALL DISCREPANCIES. ERRORS AND OMISSIONS IN WRITING. TO THE ENGINEER OF RECORD.

(Rev.1/2020)

THE CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING. BUT NOT LIMITED O, GAS, WATER, ELECTRIC, SANITARY AND STORM, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES WHICH OCCUR DURING CONSTRUCTION, AT NO COST TO THE OWNER AND AT CONTRACTOR'S SOLE COST AND EXPENSE. THE CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES WHICH OCCURS DURING CONSTRUCTION. THE CONTRACTOR MUST FIELD VERIFY THE PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND

UTILITIES BY USING A TEST PIT TO CONFIRM EXACT DEPTH. PRIOR TO COMMENCEMENT OF CONSTRUCTION

VERIFYING LOCATIONS OF SAME BASED UPON FINAL ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING SITE PLAN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. GREASE TRAP REQUIREMENTS AND DETAILS. DOOR ACCESS. AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITY SERVICES WITH THE INDIVIDUAL COMPANIES. TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS OF THE APPLICABLE JURISDICTION AND REGULATORY AGENCIES AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE

STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON ARCHITECTURAL PLANS. THE CONTRACTOR IS RESPONSIBLE FOR

UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE DOCUMENTS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IN WRITING, AND PRIOR TO CONSTRUCTION. MUST RESOLVE SAME. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE EXACTLY AS PER THE

RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND THE CONTRACTOR MUST COORDINATE SAME WITH THE

APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS

FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT HAS NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. DURING THE INSTALLATION OF SANITARY, STORM, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE. IN ANY RESPECT. FROM THE INFORMATION CONTAINED IN THESE PLANS. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE SITE PLAN. WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION OF WORK. THE CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY

WATER AND STORM SYSTEMS, ARE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT DETAILS AS APPLICABLE. THE CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME 10. FINAL LOCATIONS OF PROPOSED UTILITY POLES, AND/ OR POLES TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE

RESPECTIVE UTILITY COMPANY, REGARDLESS OF WHAT THIS PLAN DEPICTS. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY THE CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR

12. THE CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE LITILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE SEWERS CONVEYING SANITARY FLOW, COMBINED SANITARY AND STORMWATER FLOW, OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NO POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER

MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENTAL AGENCY WITH JURISDICTION OVER SAME. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE. THE SEWER MUST BE ENCASED IN CONCRETE. OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SUP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON FITHER SIDE OF THE CROSSING IN ADDITION ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

4. WHEN THESE PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES. INCLUDING BUT NOT LIMITED TO STORM, SANITARY, UTILITIES, AND IRRIGATION LINES, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. THE CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4 STAKE, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE PLAN, WHICH THE CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION

15. STORM AND SANITARY PIPE LENGTHS INDICATED ARE NOMINAL AND ARE MEASURED FROM CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

16. THE CONTRACTOR MUST NOTIFY, IN WRITING, THE MUNICIPAL ENGINEER AT LEAST THREE (3) BUSINESS DAYS PRIOR TO INSTALLATION OF SANITARY COMPONENTS. FAILURE TO HAVE SANITARY INSTALLATION AND TESTING OBSERVED BY THE DESIGNATED ENGINEER MAY REQUIRE RE-EXCAVATION OF SANITARY LINE, AND RE-TESTING, WHICH WILL BE DONE AT THE

SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. 18. SANITARY PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE CLEARLY INDICATED OTHERWISE. A. FOR PIPES LESS THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 35 PER ASTM D3034.

FOR PIPES GREATER THAN 12 FEET DEEP: POLYVINYL CHLORIDE (PVC) SDR 26 PER ASTM D3034. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS CLEARLY INDICATED OTHERWISE 9. UNLESS CLEARLY INDICATED OTHERWISE, ALL STORM PIPES MUST BE REINFORCED CONCRETE PIPES (RCP) CLASS III WITH SILT/SOIL TIGHT JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM

TO AASHTO M252 FOR PIPES 4" TO 10" AND TO AASHTO M294 FOR PIPES 12" TO 60" AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR SILT/SOIL TIGHT JOINT, PIPE FOR ROOF DRAIN CONNECTION MUST BE HDPE SDR 26 OR PVC SCHEDULE 40 UNLESS INDICATED OTHERWISE. HDPE PIPE JOINT GASKETS MUST BE PROVIDED AND CONFORM TO I. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER COMPANY, IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP)

MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN FFFECT AT THE TIME OF APPLICATION 22. GAS METERS MUST BE PROTECTED BY BOLLARDS AND FENCES IF INSTALLED WITHIN THE EXTERIOR OF THE BUILDING AS REQUIRED BY THE JURISDICTIONAL GAS PURVEYOR

# SITE SPECIFIC NOTES

TO COMMENCING CONSTRUCTION.

ALL ELEVATIONS SHALL BE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1983

2. CONTRACTOR TO OBTAIN REMEDIAL ACTION PLAN FROM OWNER AND PERFORM ALL WORK IN ACCORDANCE WITH THAT PLAN

SITE'S ENVIRONMENTAL CONSULTANT AND LSRP CONTACT INFORMATION A. RAYMOND KENNEDY

DATED 10/29/2018, LAST REVISED 02/21/2019.

HULL. INC 6397 EMERALD PARKWAY, SUITE 200, DUBLIN, OH 43016

T: (614) 793-8777

T: (908) 218-0066

(Rev. 1/2020)

B. THOMAS BURKE

57 FOURTH ST. SOMERVILLE, NJ 08876 T: (908) 218-0066, EXT 130

C. JOE SORGE, LSRP JM SORGE, INC. 57 FOURTH ST. SOMERVILLE, NJ 08876

# REFERENCES AND CONTACTS

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"ALTA/NSPS LAND TITLE SURVEY" PREPARED BY CONTROL POINT ASSOCIATES, INC., FOR LINDEN DEVELOPMENT, LLC, DATED 11/08/2017, LAST REVISED 06/27/2018 "MINOR SUBDIVISION PLAN" PREPARED BY CONTROL POINT ASSOCIATES, INC., FOR LINDEN DEVELOPMENT, LLC

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"SIGNAGE PACK" PREPARED BY MASSA MULTIMEDIA ARCHITECTURE, PC. DATED 02/22/2019.

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

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CHECKED BY: CAD I.D.: JS200709-CDS-0 PROJECT:

**AMENDED** PRELIMINARY & FINAL MAJOR SITE PLAN

> LINDEN DEVELOPMENT,

PROPOSED FREDDY'S FROZEN **CUSTARD & STEAKBURGERS WITH** DRIVE-THRU

BLOCK 469; LOT 38.05 PLEASANT STREET AND EDGAR ROAD (N.J.S.H. ROUTE 1 & 9) CITY OF LINDEN **UNION COUNTY, NEW JERSEY** 

30 INDEPENDENCE BLVD., SUITE 200 **WARREN. NJ 07059** Phone: (908) 668-8300 (908) 754-4401 www.BohlerEngineering.com NJ CERT, OF AUTHORIZATION NO. 24GA28161700 & MH0001

D.F. WISOTSKY

:PROFESSIONAL ENGINEER: NEW JERSEY LICENSE No. 42951 CONNECTICUT LICENSE No. 22098

NEW YORK LICENSE No. 073745

SHEET TITLE:

GENERAL **NOTES SHEET** 

	ZONING T	ABLE				
PROPO	ZONE: PCD SED USE: FAST FOOD RESTA BLOCK: 469, LOT: 3					
APPLICAN	IT / OWNER	INFORMAT	ION			
APPLICANT:		LINDEN DEVELOPMENT, LLC. 8144 WALNUT HILL LANE, SUITE 1200 DALLAS, TEXAS 75231				
PROPERTY OWNE	ER:	LINDEN DEVELOPMENT, LLC. 8144 WALNUT HILL LANE, SUITE 1200 DALLAS, TEXAS 75231				
BULK REQUIREMENTS						
ITEM	CODE	PERMITTED	PROPOSED DEVELOPMENT LOT*			
MIN. LOT SIZE (INDIVIDUAL LOT DEVELOPMENT)	§ 31-11.4.b(1)	30,000 SF	30,092 SF			
MIN. STREET FRONTAGE (INDIVIDUAL LOT DEVELOPMENT)	§ 31-11.4.b(2)	100'	0'**			
MIN. TRACT SIZE (OVERALL TRACT DEVELOPMENT)	§ 31-11.4.A(1)	30 ACRES	42.54 ACRES (NO CHANGE)			
MIN. TRACT STREET FRONTAGE ALONG ROUTE 1 & 9 RIGHT OF WAY (OVERALL TRACT DEVELOPMENT)	§ 31-11.4.A(2)	1,700'	2,094.36' (NO CHANGE)			
MIN. LOT DEPTH (INDIVIDUAL LOT DEVELOPMENT)	§ 31-11.4.b(6)	150'	203.5'			
PRINCIPAL BUILDING SETBACK (<100,000 SF) FROM ROUTE 1 & 9	§ 31-11.4.a(3)(a)	50'	100'			
PRINCIPAL BUILDING SETBACK FROM PLEASANT STREET	§ 31-11.4.a(3)(b)	30'	1,152.6'			
PRINCIPAL BUILDING SETBACK FROM ALL OTHER ZONE BOUNDARIES	§ 31-11.4.a(3)(c)	25'	42' (NO CHANGE)			
MAX. BUILDING HEIGHT FOR RETAIL AND RESTAURANT	§ 31-11.4.c(1) and (2)	2-1/2 STORIES 50'	1 STORY 24'			
MAX. BUILDING COVERAGE	§ 31-11.4a(4)	50%	8.61 % (2,591 SF)			
MIN. BUILDING COVERAGE	§ 31-11.4a(4)	5%	8.61 % (2,591 SF)			
MAX. IMPERVIOUS COVERAGE***	§ 31-11.4a(5)	90%	78.08 % (23,496.4 SF)			
MIN. SIDEWALK WIDTH	§ 31-11.9(c)	5'	5'			
LANDSCAPED ISLANDS BETWEEN DRIVE-THRU LANES/CIRCULATE ISLES	§ 31-19.8.1	3-5'	0,			
TRASH ENCLOSURE DISTANCE FROM ANY INTERNAL PROPERTY LINE	§ 31-11.6.e.2	10'	5.2'			
KEY =			VARIANCE REQUIRED			
* APPROVED LOT H (OUT-LOT #6) ON PREVIOU ** VARIANCE PREVIOUSLY GRANTED *** § 31-11:4a(5): A LOT WHOSE PRINCIPAL 9 RIGHT-OF-WAY SHALL BE PERMITTED A	BUILDING IS SET BACK ONE	HUNDRED (100) FEET OR MC	RE FROM THE ROUTE 1 &			

NOTES:
- SOME IMPROVEMENTS ARE ALSO PROPOSED ON LOT I (OUT-LOT #7) ON PREVIOUSLY APPROVED MAJOR SUBDIVISION PLAN (SD-748-20):

SOME IMPROVEMENTS ARE ALSO PROPOSED ON LOTT (OUT-LOT#/) ON PREVIOUSLY APPROVED MAJOR
SUBDIVISION PLAN (SD-748-20);
PARKING SPACES ON LOT I (OUT-LOT #7) ARE TO BE UTILIZED BY FUTURE OWNER/OCCUPANT OF LOT I (OUT-LOT #7)

ITEM	IG REQUIRES	PROPOSED
MIN. STALL SIZE	9' X 18'	9' X 18'
MIN. NUMBER OF PARKING SPACES FOR EATING AND DRINKING ESTABLISHMENTS	1 PER 150 SF TOTAL EATING AND DRINKING ESTABLISHMENTS = 2,591 SF 2,591 SF/150 = 17.27 SPACES = 18 SPACES	38 SPACES
MIN. OFF-STREET PARKING SETBACK TO FRONT PROPERTY LINE	5'	9.95'
MIN. OFF-STREET PARKING SETBACK TO SIDE AND REAR PROPERTY LINES	3'	0,
INTERIOR ONE-WAY AISLE WIDTH FOR PARKING AREAS	15'	10'
INTERIOR TWO-WAY AISLE WIDTH FOR PARKING AREAS	24'	24'
MIN. SIZE OF DRIVEWAY	12'	18'
MAX. SIZE OF DRIVEWAY EXCLUSIVE OF CURB RETURN RADII	36'	27'
MAX. CURB RETURN RADIUS W/ENTRANCE TO PUBLIC STREET	**10'	N/A
KEY =		VARIANCE REQUIRED

ADA PAR REQUIRE	_
ITEM	PROPOSED
PROPOSED PARKING SPACES	38
REQUIRED ADA SPACES	2
PROPOSED ADA SPACES	2

USE OF INDIVIDUALLY-MOUN	TED LETTERS SHALL BE LIMITED TO THE FRON	TS OF STORES (§ 31-11.8F(3a))
WALI	SIGNS FOR RETAIL USE-§	31-11.8F(3d)
ITEM	PERMITTED	PROPOSED
MAX ARFA	2 SF PER 1 LF OF MOUNTING WALL OR 300 SF MAX. MOUNTING WALLS:	SOUTH: 74.4 SF
MAX. AREA	MOUNTING WALLS.  SOUTH: 37 LF x 2 = 74 SF  WEST: 73 LF x 2 = 146 SF  EAST: 73 LF x 2 = 146 SF	WEST: 74.4 SF EAST: 74.4 SF
MAX. WIDTH	50% OF STOREFRONT WIDTH: SOUTH: 37 LF X 0.5 = 18.5 LF WEST: 73 LF X 0.5 = 36.5 LF EAST: 73 LF X 0.5 = 36.5 LF	SOUTH: 16.81 LF WEST: 16.81 LF EAST: 16.81 LF
MAX. MOUNTING HEIGHT ABOVE GRADE	20'	15.46'
MAX. LETTER HEIGHT	30"	15"
WAA. LETTER HEIGHT	36" FOR UPPER CASE LETTERS	37.5" (UPPER CASE LETTER)



	^	LVISIONS	
REV	DATE	COMMENT	DRAWN BY
	DAIL	COMMENT	CHECKED BY
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PROJECT No.:

DRAWN BY:

CHECKED BY:

DATE:

07/20/2020

DATE: 07/20/2020
CAD I.D.: JS200709-CDS-0C

PROJECT: 

AMENDED

PRELIMINARY & FINAL MAJOR SITE PLAN

FOR LINDEN

DEVELOPMENT, LLC

PROPOSED FREDDY'S FROZEN
CUSTARD & STEAKBURGERS WITH
DRIVE-THRU

BLOCK 469; LOT 38.05
PLEASANT STREET AND EDGAR ROAD
(N.J.S.H. ROUTE 1 & 9)
CITY OF LINDEN
UNION COUNTY, NEW JERSEY

# BOHLER /

30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
Phone: (908) 668-8300
Fax: (908) 754-4401
www.BohlerEngineering.com
NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000122

D.F. WISOTSKY

PROFESSIONAL ENGINEER

NEW JERSEY LICENSE No. 42951

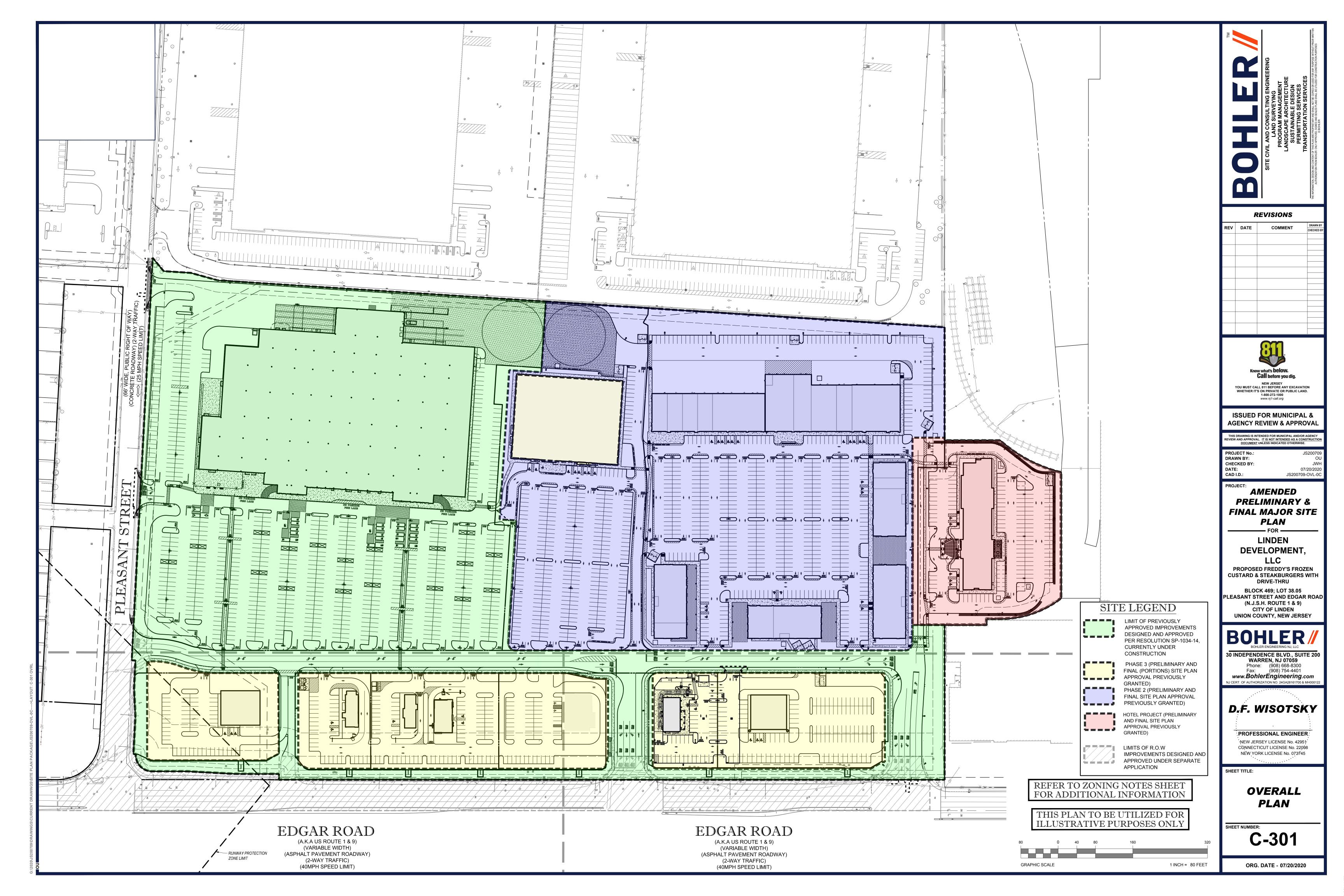
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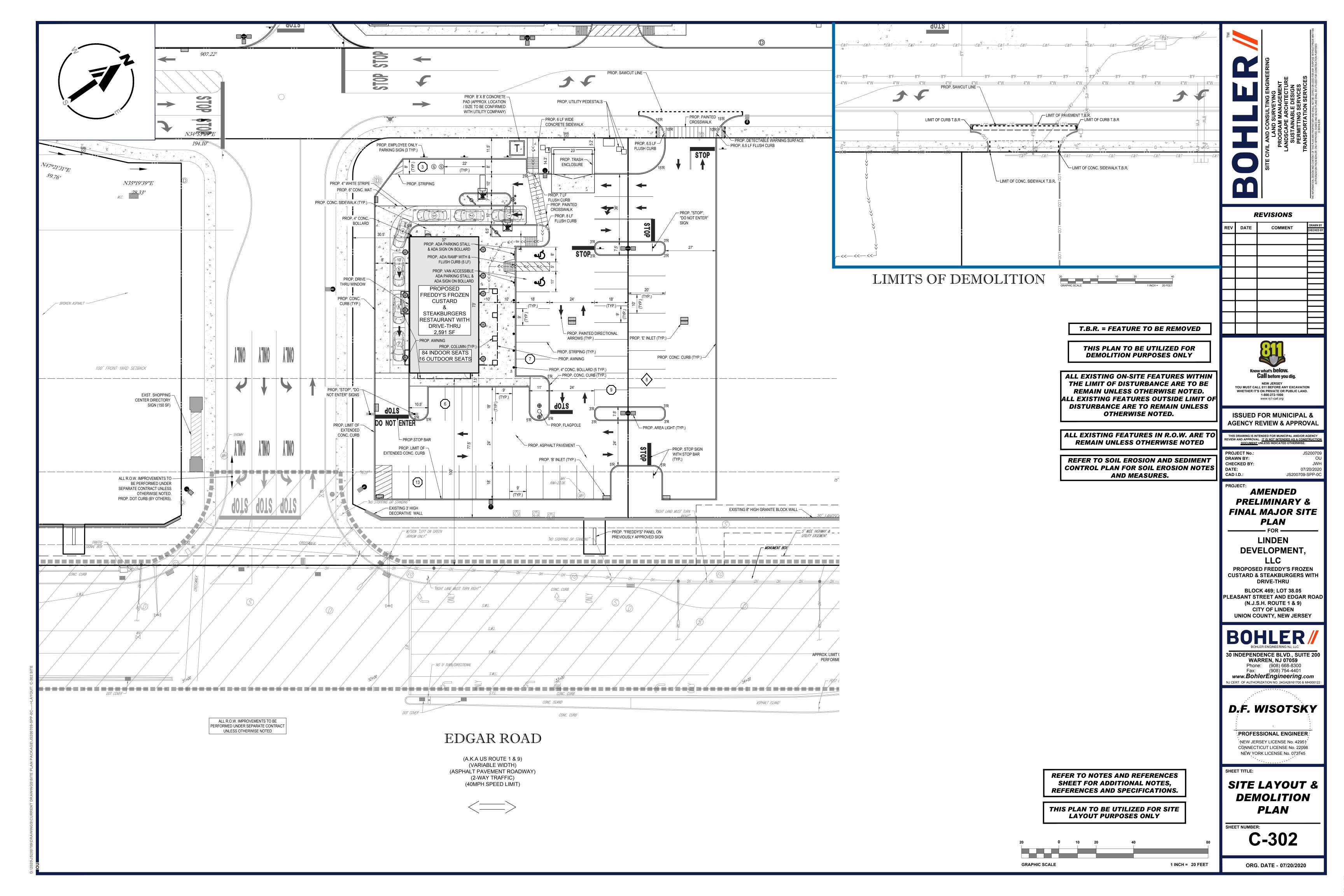
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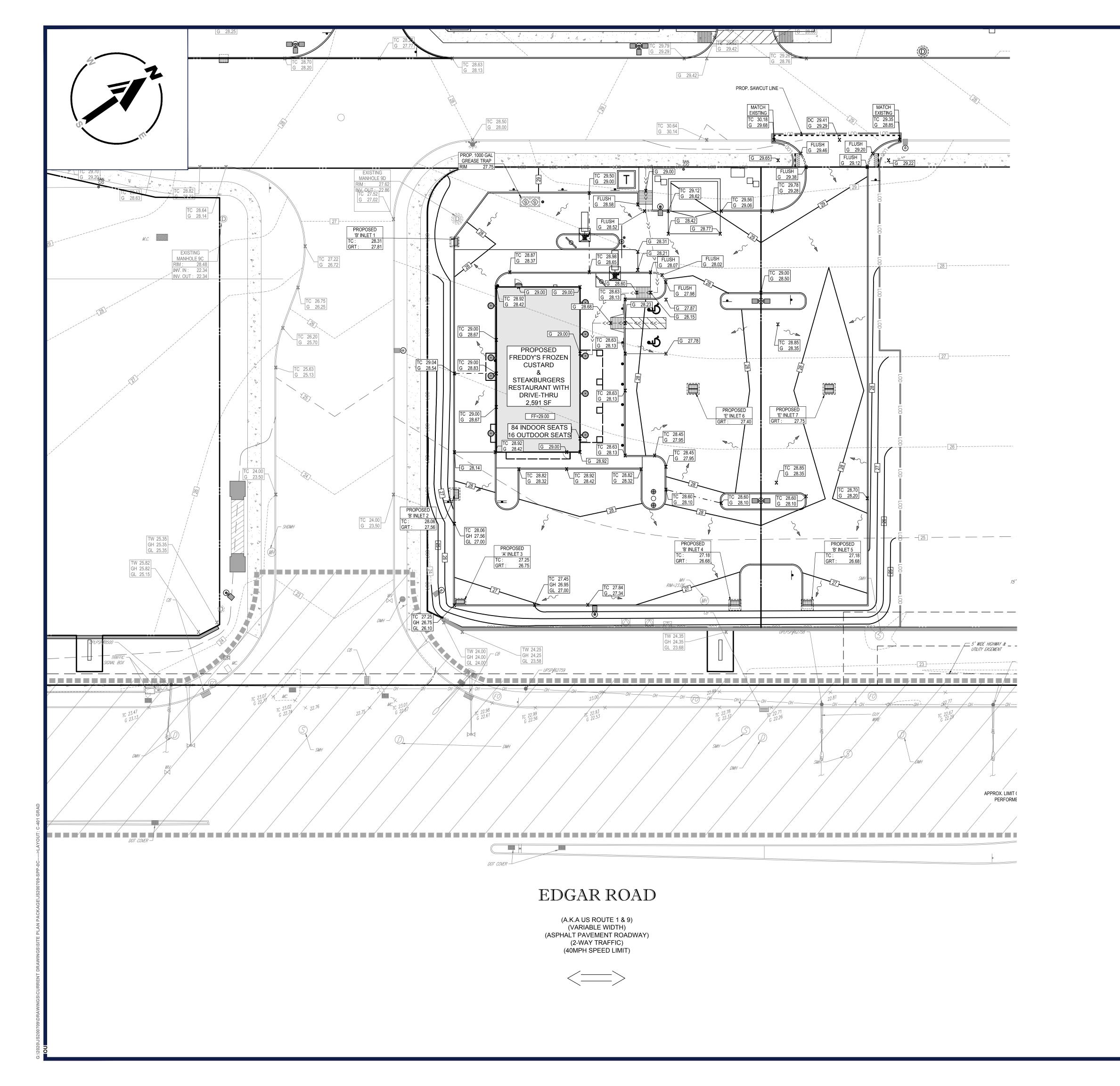
ZONING NOTES SHEET

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C-103







**GRAPHIC LEGEND** (U010102 - 03/12/12) PROPERTY LINE EXIST. CONTOUR & ELEVATION 601 PROP. FINISH GRADE CONTOUR & ELEVATION -W----W EXIST. WATER E&T——E&T——PROP. ELECTRIC/TELEPHONE -- ET&C-----ET&C-----ET&C------EXIST. ELECTRIC/TELEPHONE/CABLE ET&C——ET&C——PROP. ELECTRIC/TELEPHONE/CABLE OH——OH——PROP. OVERHEAD WIRES PROP. STORM PIPE PROP. SANITARY PIPE  $\overline{\phantom{a}}$ PROP. DIRECTION OF DRAINAGE FLOW ARROW

> EXIST. TOP OF CURB ELEVATION × TC 123.45 x G 122.95 EXIST. GRADE ELEVATION TW XXX.XX PROP. TOP OF WALL ELEVATION GH XXX.XX GL XXX.XX PROP. GRADE ON HIGH SIDE OF WALL PROP. GRADE ON LOW SIDE OF WALL TC XXX.XX PROP. TOP OF CURB & FINISHED GRADE ELEV. G XXX.XX EXIST. AREA/YARD LIGHT PROP. AREA/YARD LIGHT PROP. CLEAN OUT EXIST. INLET PROP. INLET EXIST. MANHOLE

EXIST. ELEVATION

PROP. STORM MANHOLE

PROP. SANITARY MANHOLE

EXIST. HYDRANT

PROP. HYDRANT

EXIST. UTILITY VALVE

PROP. UTILITY VALVE

PROP. UTILITY POLE

PROP. UTILITY POLE

EXIST. TRAFFIC SIGNAL

PROP. TRAFFIC SIGNAL

ARCHITECT TO CONFIRM GREASE TRAP

SIZE

**REFER TO NOTES AND REFERENCES** 

SHEET FOR ADDITIONAL NOTES,

REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR SITE

**GRADING PURPOSES ONLY** 

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REV DATE

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PRELIMINARY &
FINAL MAJOR SITE
PLAN

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DEVELOPMENT,

LLC PROPOSED FREDDY'S FROZEN

PROPOSED FREDDY'S FROZEN CUSTARD & STEAKBURGERS WITH DRIVE-THRU

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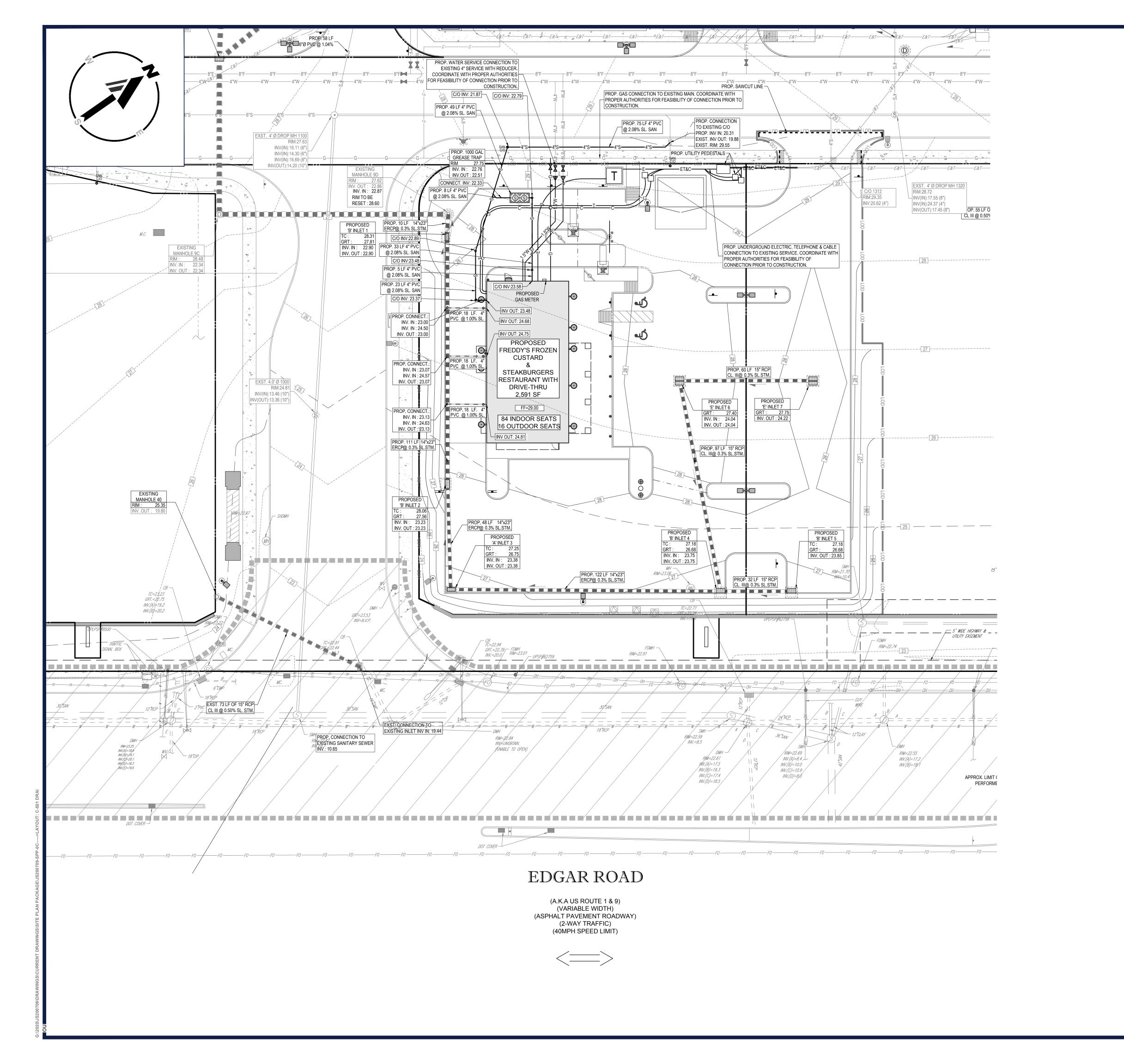
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GRADING PLAN

SHEET NUMBER:

1 INCH = 20 FEET

C-401



GRAPHIC LEGEND (U010102 - 03/12/12) PROPERTY LINE EXIST. CONTOUR & ELEVATION PROP. FINISH GRADE CONTOUR & ELEVATION — W———— W———— EXIST. WATER G PROP. GAS —E&T———E&T———E&T——— EXIST. ELECTRIC/TELEPHONE E&T——E&T——PROP. ELECTRIC/TELEPHONE —ET&C----ET&C----ET&C-----EXIST. ELECTRIC/TELEPHONE/CABLE ET&C——ET&C——PROP. ELECTRIC/TELEPHONE/CABLE OH——OH——PROP. OVERHEAD WIRES PROP. STORM PIPE PROP. SANITARY PIPE PROP. DIRECTION OF DRAINAGE FLOW ARROW EXIST. ELEVATION EXIST. TOP OF CURB ELEVATION x *TC 123.45* EXIST. GRADE ELEVATION × G 122.95 PROP. TOP OF WALL ELEVATION TW XXX.XX GH XXX.XX GL XXX.XX PROP. GRADE ON HIGH SIDE OF WALL PROP. GRADE ON LOW SIDE OF WALL TC XXX.XX PROP. TOP OF CURB & FINISHED GRADE ELEV. G XXX.XX EXIST. AREA/YARD LIGHT PROP. AREA/YARD LIGHT PROP. CLEAN OUT EXIST. INLET PROP. INLET EXIST. MANHOLE

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ONLY

1 INCH = 20 FEET

**GRAPHIC SCALE** 

PROP. UTILITY POLE

PROP. SANITARY MANHOLE



SITE CIVIL AND CONSULTING E
LAND SURVEYING
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REV DATE COMMENT DRAWN BY CHECKED B



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AGENCY REVIEW & APPROVAL

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PROPOSED FREDDY'S FROZEN CUSTARD & STEAKBURGERS WITH DRIVE-THRU

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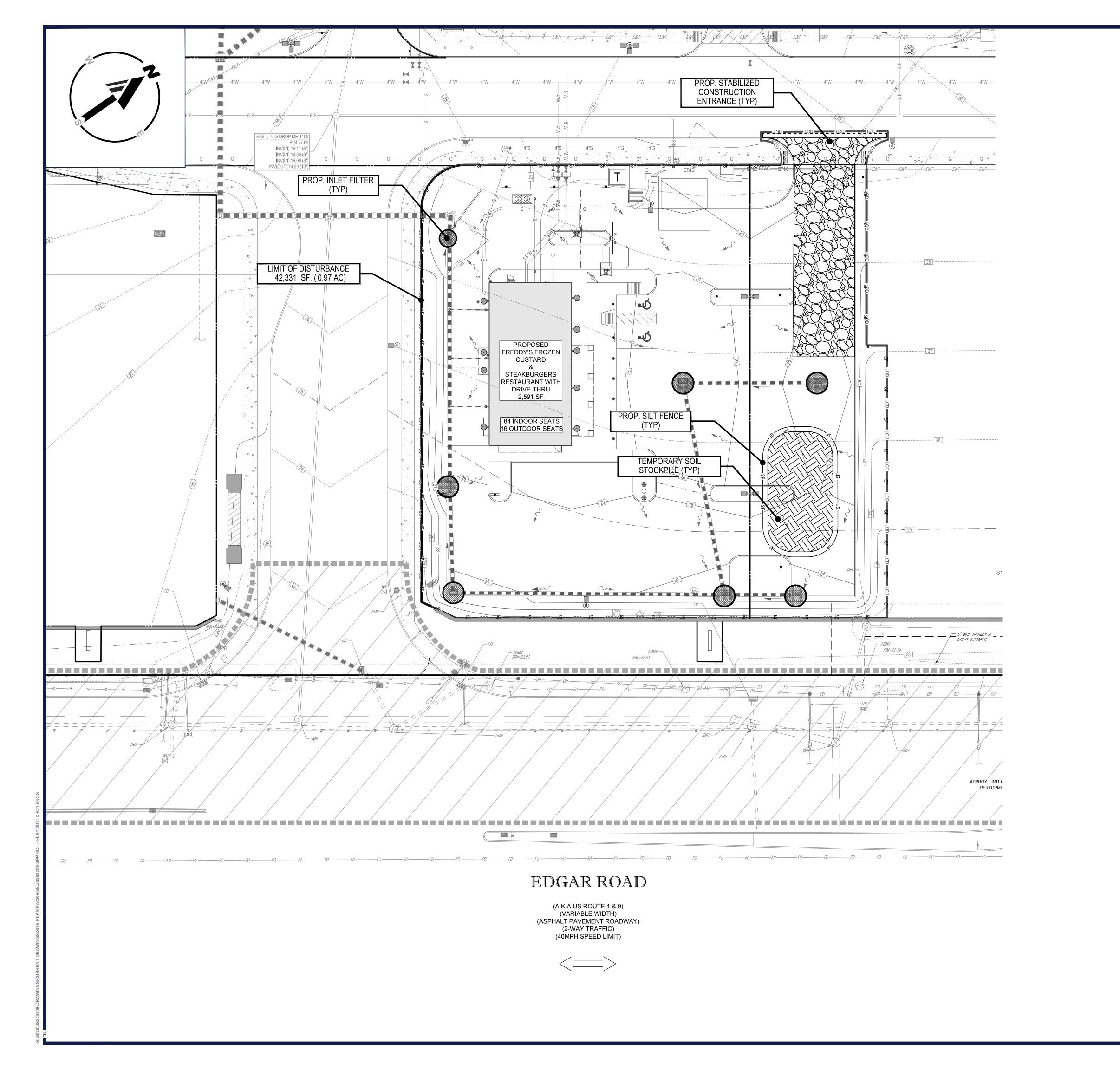
NEW JERSEY LICENSE No. 42951 CONNECTICUT LICENSE No. 22098 NEW YORK LICENSE No. 073745

SHEET TITLE:

DRAINAGE AND UTILITIES PLAN

EET NUMBER:

C-501



**REVISIONS** 

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> LINDEN DEVELOPMENT,

PROPOSED FREDDY'S FROZEN

**CUSTARD & STEAKBURGERS WITH** DRIVE-THRU

**BLOCK 469; LOT 38.05** PLEASANT STREET AND EDGAR ROAD (N.J.S.H. ROUTE 1 & 9) **CITY OF LINDEN** UNION COUNTY, NEW JERSEY

THIS PROJECT IS EXEMPT FROM THE **SOIL COMPACTION MITIGATION MEASURES FOR: "URBAN** REDEVELOPMENT" (SESC NJ STANDARDS, PG 19-2). AREA IS

LOCATED WITHIN METROPOLITAN

PLANNING AREA 1 AND HAS BEEN PREVIOUSLY DEVELOPED.

REFER TO SOIL EROSION & SEDIMENT CONTROL DETAILS & NOTES FOR

**ADDITIONAL NOTES** 

REFER TO GENERAL NOTES SHEET FOR

**ADDITIONAL NOTES** 

THIS PLAN TO BE UTILIZED FOR SOIL EROSION AND SEDIMENT CONTROL

**PURPOSES ONLY** 

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**GRAPHIC SCALE** 

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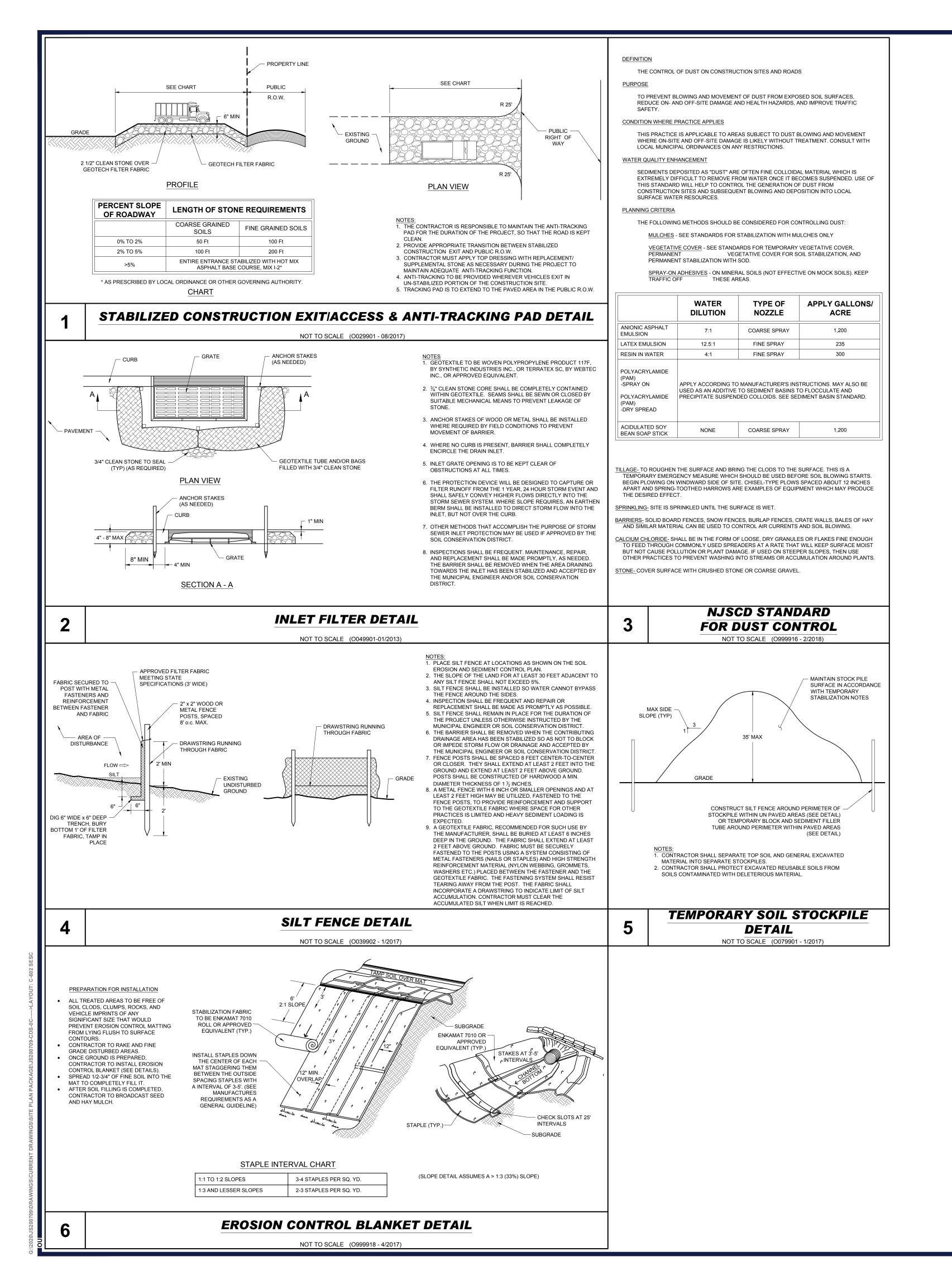
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SHEET TITLE:

**SOIL EROSION** & SEDIMENT **CONTROL PLAN** 

C-601



# SOMERSET - UNION COUNTY SCD NOTES: (0009915 - 05/15/15)

- 1. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY
- LAND DISTURBING ACTIVITY. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL
- DISTURBANCES OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF
  - TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS PERMANENT VEGETATION SHALL BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- 6. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO
- UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E.: STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW
- ACCORDING TO THE NJ STATE STANDARDS. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE
- INSTALLATION PROCEEDS (I.E.: SLOPES GREATER THAT 3:1) TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'X30'X6"PAD OF 1 1/2" OR 2" STONE, AT ALL
- CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL

MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE,

SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. 11. IN THAT NJSA 4:24-39 ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO

CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE

- BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY 12. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM
- **BECOMING OPERATIONAL** 13. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RECERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.

INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDROMULCH SHOULD BE APPLIED AT A RATE

- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT. HYDRO SEEDING IS A TWO- STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL
- OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDROMULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS. 19. UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SOIL TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE

# STABILIZATION SPECIFICATIONS TEMPORARY SEEDING AND MULCHING:

90 LBS/1.000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".

PERENNIAL RYE GRASS 100 LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN

PEARL MILLET AT 20 LBS/ACRE OR OTHER APPROVED SEEDS: PLANT BETWEEN MAY 15 AND AUGUST 15.

SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING. OR LIQUID MULCH BINDER).

# STABILIZATION SPECIFICATIONS - PERMANENT SEEDING:

- GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING, ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION. THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH TH
- STANDARD FOR LAND GRADING TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPT OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE
- WITH THE STANDARD FOR TOPSOILING. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
- 130 LBS/ACRE OR 3.0 LBS/1,000 S.F HARD FESCUE:
- 10 LBS/ACRE OR 0.25 LBS/1.000 S.F PERENNIAI RYEGRASS
- CHEWING FESCUE: 45 LBS/ACRE OR 1 LB/1.000 S.F STRONG CREEPING RED FESCUE: 45 LBS/ACRE OR 1 LB/1,000 S.F
- PERMANENT STABILIZATION SPECIFICATIONS: MULCHING
- A. MULCH MATERIALS TO BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS/ACRE OR 70 TO 90 LBS/1,000 SQ. FT. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERED.
- MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
- (1) PEG AND TWINE (2) MULCH NETTING
- D. FERTILIZER-500 LBS/ACRE 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. WORKED INTO THE SOIL A MINIMUM OF 4".

- UNROTTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS/ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS/1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS. OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY
- THE SOIL CONSERVATION DISTRICT B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE
- C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1.500 POUNDS/ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYOROSEEDER
- MULCH NETTING SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY
- ONE OF THE FOLLOWING METHODS:
- (I) PEG AND TWINE (2) MULCH NETTING

(3) LIQUID MULCH-BINDERS

# MULCH STABILIZATION

- A. UNROTTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS/ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS/1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS. OR NETTING TIE
- DOWN OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT
- B. ASPHALT EMULSION IS RECOMMENDED AT THE RATE OF 600 TO 1,200 GAL/ACRE, THIS IS SUITABLE FOR A LIMITED PERIOD OF TIME WHERE TRAVEL BY PEOPLE, ANIMALS, OR MACHINES IS NOT A PROBLEM. C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS
- RECOMMENDED BY THE MANUFACTURER. D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1.500 POUNDS/ACRE (OR ACCORDING TO THE
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- E. MULCH NETTING SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED. F. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY
- ONE OF THE FOLLOWING METHODS:
- (1) PEG AND TWINE
- (2) MULCH NETTING
- (3) LIQUID MULCH-BINDERS

# **SWPPP NOTES:** ( 3/2015)

CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

# SEQUENCE OF CONSTRUCTION:

PHASE I: INSTALL SOIL EROSION SEDIMENT CONTROL MEASURES, INCLUDING DOWN SLOPE PERIMETER SILT FENCING. (2 DAYS)

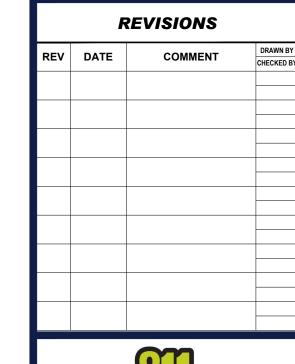
PHASE 2: CLEAR AND ROUGH GRADE FOR PROPOSED SITE LAYOUT. (5 WEEKS)

PHASE 3: EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING, UNDERGROUND UTILITIES, ETC

# PHASE 4: FINAL GRADING ON SITE. (2 WEEKS)

PHASE 5: INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING. (3

PHASE 6: REMOVE SOIL EROSION AND SEDIMENT CONTROL MEASURES. (3 DAYS)





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**CUSTARD & STEAKBURGERS WITH** DRIVE-THRU BLOCK 469; LOT 38.05

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# 30 INDEPENDENCE BLVD., SUITE 200

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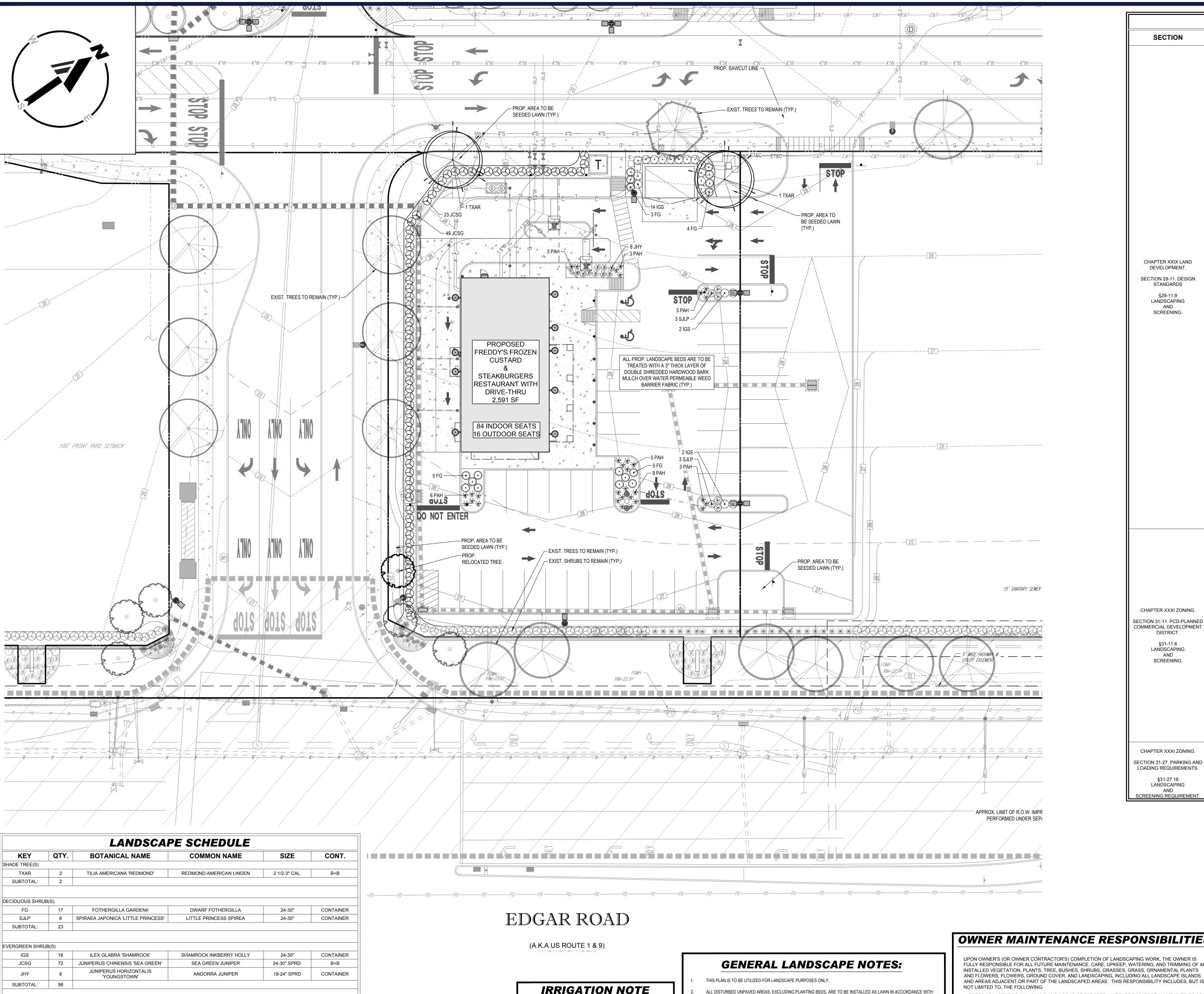
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SOIL AND **EROSION** CONTROL NOTES

& DETAILS

C-602



**COMPLIANCE CHART** COMPLIANCE SECTION REQUIREMENT CALCULATIONS ALL OPEN AREAS NOT UTILIZED FOR A. ALL OPEN AREAS NOT UTILIZED FOR PARKING AREAS, DRIVEWAYS, STREETS OR ROADS, PARKING AREAS, DRIVEWAYS, STREETS RECREATIONAL FACILITIES, PATIOS OR TERRACES OR ROADS HAVE BEEN PROVIDED WITH SHALL BE PROVIDED WITH LAWNS OR OTHER LAWN AND LANDSCAPING. SUITABLE GROWING GROUND COVER, TREES AND COMPLIES B. CONTINUOUS EVERGREEN SCREENING MAY BE EXISTING EVERGREEN SCREENING WILL REQUIRED ALONG THE TRACT BOUNDARY LINE, REMAIN ALONG US ROUTE 1 & 9 (EDGAR SUCH SCREENING TO BE NO LESS THAN THREE (3) FEET HIGH WHEN PLANTED. IN ADDITION, THE COMPLIES PLANNING OR ZONING BOARD OF ADJUSTMENT MAY IF CONDITIONS WARRANT, REQUIRE SUPPLEMENTAL SCREENING BY A SOLID FENCE UP TO SIX (6) FEET IN C. SHADE TREES SHALL BE PROVIDED ALONG EXISTING SHADE TREES ON SITE ARE TO WALKS, DRIVEWAYS, PARKING AREAS, STREETS AND REMAIN. ROADS. SCREENING OR BUFFERS, CONSISTING OF BERMS, FENCING AND/OR LANDSCAPING MAY BE COMPLIES REQUIRED AROUND RECREATION, PARKING, UTILITY AND REFUSE DISPOSAL AREAS AND AROUND OTHER SIMILAR AREAS AT THE DISCRETION OF THE PLANNING BOARD. D. ALL LANDSCAPING SHALL BE MAINTAINED IN GOOD ALL PROPOSED AND EXISTING CONDITION AND SHALL BE REPLACED WHERE LANDSCAPING WILL BE MAINTAINED IN NECESSARY. WHERE YARDS, PATIOS AND GARDENS GOOD CONDITION AND REPLACED WHERE IN MULTIFAMILY DEVELOPMENTS ARE SHIELDED NECESSARY, REFER TO OWNER COMPLIES WITH MASONRY WALLS, SUCH WALLS SHALL MAINTENANCE NOTE ON THIS PLAN. CONFORM ARCHITECTURALLY TO AND BE OF SIMILAR MATERIALS AS THE PRINCIPAL BUILDINGS IN THE DEVELOPMENT. E. NOT LESS THAN TEN (10%) PERCENT OF THE AREA PROPOSED PARKING AREA: 17,797 SF OF EACH PARKING AREA IN EXCESS OF TWENTY THOUSAND (20,000) SQUARE FEET SHALL BE SUITABLY LANDSCAPED TO MINIMIZE NOISE, GLARE NOT APPLICABLE AND OTHER NUISANCE CHARACTERISTICS AS WELL DEVELOPMENT. AS TO ENHANCE THE AESTHETICS, ENVIRONMENT AND ECOLOGY OF THE SITE AND SURROUNDING SECTION 29-11. DESIGN F. OFF-STREET PARKING AREAS SHALL BE OFF-STREET PARKING AREA HAS BEEN EFFECTIVELY SCREENED BY A BERM, FENCE OR SCREENED FROM US ROUTE 1 & 9 BY AN LANDSCAPING WALL NOT LESS THAN TWO (2) TO THREE (3) FEET IN EXISTING EVERGREEN HEDGE. HEIGHT MAINTAINED IN GOOD CONDITION: OR A SCREENING HEDGE OR OTHER NATURAL SCREENING. LANDSCAPING. THE SCREENING AS REQUIRED BY COMPLIES THIS SECTION MAY BE WAIVED BY THE BOARD IF, IN ITS JUDGMENT, BECAUSE OF TOPOGRAPHIC OR OTHER UNUSUAL CONDITIONS, SAID SCREENING IS NOT NECESSARY TO PROTECT ADJOINING G. PARKING LOTS IN EXCESS OF TWENTY THOUSAND PROPOSED PARKING AREA: 17,797 SF (20,000) SQUARE FEET SHALL BE PLANTED WITH TREES AT A RATE OF ONE (1) TREE PER TWELVE (12) NOT APPLICABLE SPACES, PARKING SHALL NOT EXTEND MORE THAN TWENTY (20) SPACES WITHOUT A TREE ISLAND K. LANDSCAPE BUFFERS FACING ROUTE 1/9 SHALL EXISTING LANDSCAPE BUFFER ALONG US MEET THE FOLLOWING GUIDELINES. ROUTE 1 & 9 IS TO REMAIN. 1. A FIFTEEN (15) TO TWENTY (20) FOOT LANDSCAPE BUFFER SHALL BE REQUIRED ALONG THE COMPLIES RIGHT-OF-WAY AND SHALL INCLUDE CANOPY TREES AND GROUNDCOVER. OPTIONAL UNDERSTORY AND SHRUBS ARE PERMITTED WITHIN THE BUFFER AND MUST FOLLOW THE STANDARDS PROVIDED HEREIN K. 4. PERMITTED FEATURES WITHIN FRONT BUFFERS. EXISTING LANDSCAPE WALL WITH SIDEWALKS, SIGNS, LOW WALL AND WROUGHT IRON LANDSCAPE PLANTINGS IS TO REMAIN PICKET FENCES; ADDITIONAL FEATURES SUCH AS A ALONG US ROUTE 1 & 9. KNEE WALLS AND DECORATIVE WROUGHT IRON PICKET FENCING ARE PERMISSIBLE WITH THE FOLLOWING STANDARDS: (A) FRONTAGE WALL- UP TO ONE-THIRD (1/3) OF THE COMPLIES REQUIRED PERCENTAGE MAY CONSIST OF FRONTAGE WALLS. THE FRONTAGE WALL SHALL BE A MINIMUM HEIGHT OF EIGHTEEN (18) INCHES WITH A MAXIMUM HEIGHT OF TWENTY (24) INCHES AND A MINIMUM WIDTH OF TWELVE (12) INCHES. THE WALL SHALL BE CONSTRUCTED OF STONE, BRICK OR STUCCO. THE MATERIAL SHALL COMPLEMENT THE PRIMARY BUILDING'S ARCHITECTURE (B) 1. A MINIMUM 15-FOOT WIDE LANDSCAPED NO COMMON LOT LINE ALONG ANY BUFFER SHALL BE ESTABLISHED ALONG THE COMMON LOT LINE OF ANY ADJOINING RESIDENTIAL NOT APPLICABLE (B) 2. BUFFERS SHALL BE LANDSCAPED WITH -(SEE ABOVE SECTION 31-11.6 (A) 1.)-DÉCIDUOUS AND CONIFEROUS PLANTINGS TO NOT APPLICABLE PROVIDE A YEAR-ROUND VISUAL SCREEN. (C) 1. THE MAIN ENTRANCE ROAD SHOULD INCLUDE. SHADE TREES HAVE BEEN PROPOSED STREET TREES ON EACH SIDE OF THE ROADWAY. ALONG MAIN ENTRANCE AT FORTY (40) COMPLIES AND SUCH TREES SHOULD BE OF A DIFFERENT FEET ON CENTER. SECTION 31-11, PCD-PLANNED SPECIES THAN TREES PLANTED IN PARKING AREAS. COMMERCIAL DEVELOPMENT (C) 2 SPACING BETWEEN TREES SHOULD BE A SHADE TREES HAVE BEEN PROPOSED DISTRICT. MAXIMUM 50 FEET UNLESS ANOTHER VERTICAL ALONG MAIN ENTRANCE AT FORTY (40) COMPLIES ELEMENT, SUCH AS A DECORATIVE LIGHT POLE, PIER FEET ON CENTER. ELEVATION, OR SIGN IS USED BETWEEN THE TREES. LANDSCAPING (D) 1. STREET TREES AND OTHER PLANT MATERIAL PROPOSED SHRUBS AND LAWN AREAS SHOULD BE PROVIDED IN LANDSCAPED ISLANDS AT HAVE BEEN PROVIDED AT THE ENDS OF SCREENING COMPLIES THE ENDS OF PARKING ROWS IN EXCESS OF 25 ALL PARKING ISLANDS. SPACES. (D) 2. LANDSCAPED ISLANDS SHOULD BE AT LEAST PROPOSED LANDSCAPE ISLANDS ARE A COMPLIES (E) 1. ANY GROUND LEVEL UTILITY CABINETS SHOULD PROPOSED GROUND LEVEL UTILITIES BÉ FENCED OR LANDSCAPED, OR BOTH. HAVE BEEN LANDSCAPED COMPLIES APPROPRIATELY. ALL TRASH ENCLOSURES HAVE BEEN (E) 2. OUTDOOR TRASH AND RECYCLING BINS. SHEDS, AND STORAGE AREAS SHOULD BE LOCATED | SCREENED APPROPRIATELY. A MINIMUM OF 30 FEET FROM ANY STREET OR COMPLIES PROPERTY LINE AND 10 FEET FROM ANY INTERNAL PROPERTY LINE, AND SHALL BE APPROPRIATELY SCREENED AND/OR LANDSCAPED PLANTINGS OF EVERGREEN MATERIAL SHALL BE EVERGREEN AND DECIDUOUS PLANTINGS PROVIDED IN OFF-STREET PARKING AREAS OF MORE | HAVE BEEN PROVIDED ALONG THE THAN FOUR (4) VEHICLES. IN LIEU OF SCREEN SECTION 31-27, PARKING AND PLANTING, A FENCE OF WOVEN LATTICE, MASONRY AREAS TO SCREEN THE VIEW OF PARKED LOADING REQUIREMENTS. WALL, OR WOODEN LOUVRE TYPE OR SPLIT CEDAR CARS FENCE WITH A MAXIMUM OF THREE-FOURTHS (3/4) INCH SPACING MAY BE PROVIDED NOT LESS THAN FOUR (4) FEET NOR MORE THAN SIX (6) FEET IN LANDSCAPING HEIGHT, MAINTAINED IN GOOD CONDITION AND SCREENING REQUIREMENT. WITHOUT ADVERTISING.

CONTRACTOR TO PROVIDE AN IRRIGATION DESIGN FOR BOTH LAWN AND BED AREAS. DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL CONTRACTOR TO VERIES STATIC PRESSURE PRIOR TO DESIGN CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRESSURE REDUCING DEVICES REQUIRED TO MEET MAXIMUM PRESSURE REQUIREMENT SYSTEM DESIGN IS TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION METERS AND CONTROLLERS. ALL SLEEVES IN

AVEMENT AREAS MUST BE SHOWN. THE CONTRACTO

DEVICE INSTALLATION AND PERMITTING.

SHALL BE RESPONSIBLE FOR BACKFLOW PREVENTION

ORNAMENTAL GRASS(ES)

SUBTOTAL:

PENNISETUM ALOPECUROIDES

NOTE:: IF ANY DISCREPANCIES OCCUR BETWEEN THE AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN WILL DICTATE

DWARF FOUNTAIN GRASS

CONTAINER

- ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH
- THE LANDSCAPE SPECIFICATION #2.C., UNLESS OTHERWISE STATED ON THIS PLAN.
- ALL PROPOSED LANDSCAPE BEDS ARE TO BE TREATED WITH A 2" THICK LAYER OF 2-3" GREY RIVER STONE OVER WATER PERMEABLE WEED BARRIER FABRIC, UNLESS OTHERWISE STATED ON THIS PLAN.
- SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS ARE TO BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.

SUBGRADE TO REMOVE ALL COMPACTED MATERIAL, OR OTHER MATERIAL HARMFUL TO PLANT HEALTH, AND

PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER ENGINEERING AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. AT THE TIME OF PARKING LOT CONSTRUCTION AND PLANT ISLAND INSTALLATION, ALL PLANTER ISLANDS ARE TO BE EXCAVATED TO THE FULL WIDTH OF THE PARKING PLANTER ISLAND AND THROUGH THE FULL DEPTH OF COMPACTED

BACKFILLED WITH CLEAN PLANTING FILL.

# **OWNER MAINTENANCE RESPONSIBILITIES**

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN
- SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL. TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE
- INDICATED ON THE PLANS · VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.

FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY

FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS

REQUIRED TO PROVIDE

REFER TO LANDSCAPE **NOTES & DETAILS SHEET** 

**REFER TO NOTES AND REFERENCES** SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

> THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

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20 FEET	1 INCH =				LE	SCA	IIC S	APH	₹,

PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 42951 CONNECTICUT LICENSE No. 22098 NEW YORK LICENSE No. 073745

SHEET TITLE:

**LANDSCAPE** PLAN

**REVISIONS** 

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**ISSUED FOR MUNICIPAL &** 

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DOCUMENT UNLESS INDICATED OTHERWISE.

**AMENDED** 

PRELIMINARY &

FINAL MAJOR SITE

PLAN

LINDEN

DEVELOPMENT,

PROPOSED FREDDY'S FROZEN

**CUSTARD & STEAKBURGERS WITH** 

DRIVE-THRU

**BLOCK 469; LOT 38.05** 

PLEASANT STREET AND EDGAR ROAD

(N.J.S.H. ROUTE 1 & 9)

CITY OF LINDEN

30 INDEPENDENCE BLVD., SUITE 200

**WARREN, NJ 07059** 

Phone: (908) 668-8300

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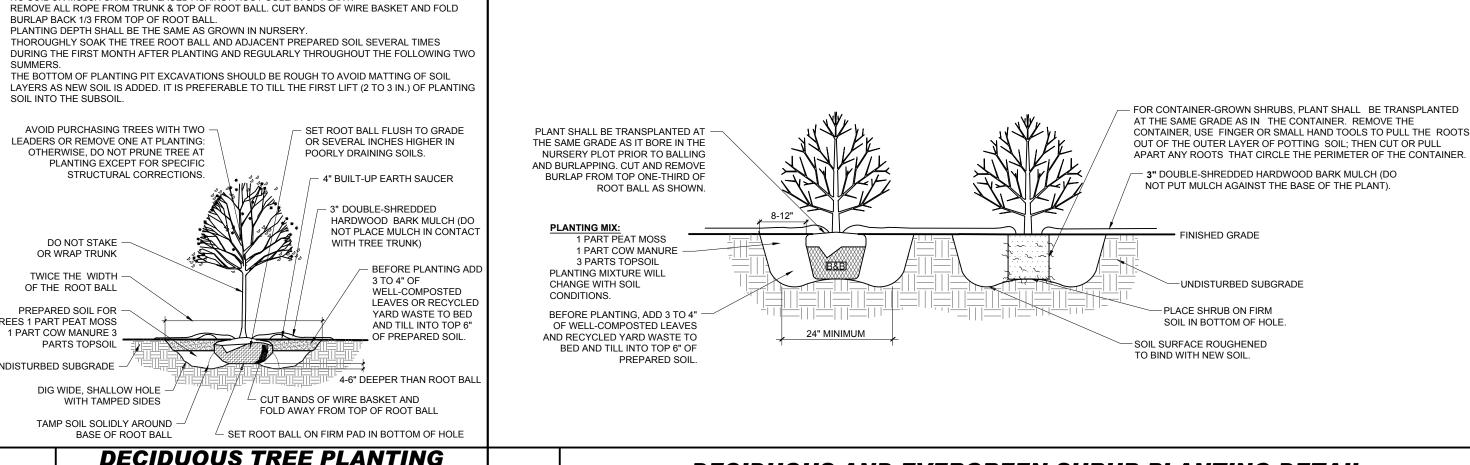
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PROJECT:

COMMENT

REV DATE



DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE (L101102-01/2013)

PERENNIAL/GROUND COVER PLANTING DETAIL NOT TO SCALE (L101101-01/2013)

PLANT MATERIAL SPACED AS -

HARDWOOD BARK MULCH.

**EXISTING SUBSOIL** 

2-3" SHREDDED -

SPECIFIED ON CENTER (O.C.) (SEE

INCORPORATE 2" OF PEAT INTO 6" OF -

PLANTING MIXTURE, AS SPECIFIED

SPACING ON LANDSCAPE PLAN)

# **SEEDING SPECIFICATIONS:**

DETAIL

NOT TO SCALE (L101103-01/2013)

90 LBS/1.000 SQ F

PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS

- 2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- SEEDING RATES:

LARGER THAN 2" DIAMETER.

1/2 LB/1,000 SQ FT PERENNIAL RYEGRASS KENTUCKY BLUEGRASS 1 LB/1,000 SQ FT RED FESCUE 1 1/2 LBS/1.000 SQ F SPREADING FESCUE 1 1/2 I BS/1 000 SQ FT FERTILIZER (20:10:10) 14 LBS/1.000 SQ FT

NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT

GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER

> THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

# IRRIGATION NOTE

ONTRACTOR TO PROVIDE AN IRRIGATION DESIGN FOR BOTH LAWN AND BED AREAS DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITEC FOR REVIEW AND APPROVAL. CONTRACTOR TO VERIF STATIC PRESSURE PRIOR TO DESIGN. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRESSURE REDUCING DEVICES REQUIRED TO MEET MAXIMUM PRESSURE REQUIREMENT. SYSTEM DESIGN IS TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS AND CONTROLLERS ALL SLEEVES IN AVEMENT AREAS MUST BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFLOW PREVENTION DEVICE INSTALLATION AND PERMITTING.

# OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO. THE FOLLOWING

TREES ADJACENT TO WAI KWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL

TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.

VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVE SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS. FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING. SLIPPING OR ANY OTHER

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE

# LANDSCAPE SPECIFICATIONS

LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.

THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE

A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE MOST CURRENT VERSION OF THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS

B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT OF NOT LESS THAN 5% BY WEIGHT AND A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF ALL DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS. C. LAWN - ALL DISTURBED AREAS ARE TO BE COVERED WITH A MINIMUM 5" THICK LAYER OF TOPSOIL AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SEEDING SPECIFICATION ON THE APPROVED SOIL EROSION PLAN

SOD SHALL BE STRONGLY ROOTED. WEED AND DISEASE/PEST FREE WITH A UNIFORM. THICKNESS OF AT LEAST 3/4". SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD THE SOD IN PLACE.

D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE SPECIFIED OR DEPICTED ON

FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE. b. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE AS SPECIFIED OR, AS A MINIMUM, 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT

A FERTILIZER SHOULD NOT BE PURCHASED OR APPLIED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY AND THE PRIOR APPROVAL OF THE F. PLANT MATERIAL

a. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN) b. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER BOTANICAL NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION

PURPOSES DURING THE FINAL INSPECTION. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 11/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.

e. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL EXHIBIT NORMAL GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE f. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND

INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.

SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL

GENERAL WORK PROCEDURES: A. THE CONTRACTOR SHALL UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF 3. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT

SHALL BE REMOVED COMPLETELY FROM THE SITE. **PREPARATIONS** A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING. ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH

THE GENERAL WORK PROCEDURES OUTLINED HEREIN. B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. THE CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR THE DURATION OF THE PROJECT AND WARRANTY

CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE. C. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF N.J.S.A. 48:2-74, et seq., THE UNDERGROUND UTILITY PROTECTION ACT. IN PARTICULAR, THE CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL

PERIOD FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. THE

A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE

B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL, MOUNTED ON WOOD/STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED

D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE A. CONTRACTOR SHALL OBTAIN A SOIL TEST FOR ALL AREAS OF THE SITE AND SUBMIT THE SAME TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR APPROVAL PRIOR TO

CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY. B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN OR DIRECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER, IN WRITING, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON

C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED

DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY. D. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID

MATERIAL WITH A PH HIGHER THAN 7.5. E. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED

TO BE ADDED TO INCREASE DRAINAGE F. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY. SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX. 7. FINISHED GRADING

A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE. B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT A PROPER SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE

FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±). C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT. D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

A. CONTRACTOR SHALL PROVIDE A 5" THICK MINIMUM LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM

LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. B. ON-SITE TOPSOIL MAY, UPON THE PROVISION OF A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY AND THE SUBMISSION TO AND APPROVAL BY THE LANDSCAPE ARCHITECT OR ENGINEER, BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED

STORED AND PROTECTED PRIOR TO CONSTRUCTION C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE LITTLIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION

D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES

20 POUNDS 'GROW POWER' OR APPROVED EQUAL 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE. B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE

WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.

D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED. F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED,

INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

PLANTS: MARCH 15 TO DECEMBER 15 b. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY, LANDSCAPE ARCHITECT AND/OR ENGINEER FOR POTENTIAL SUBSTITUTION

G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN. AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS RECOMMENDED THAT THESE SPECIES NOT BE PLANTED DURING THE FALL PLANTING SEASON:

PLATANUS X ACERIFOLIA ACER RUBRUM BETULA VARIETIES POPULUS VARIETIES **CARPINUS VARIETIES** PRUNUS VARIETIES CRATAEGUS VARIETIES PYRUS VARIETIES

KOELREUTERIA QUERCUS VARIETIES LIQUIDAMBAR STYRACIFLUA TILIA TOMENTOSA LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

H. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY

a. 1 PART PEAT MOSS 1 PART COMPOSTED COW MANURE BY VOLUME

3 PARTS TOPSOIL BY VOLUME 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:

 2 TABLETS PER 1 GALLON PLANT 3 TABLETS PER 5 GALLON PLANT

 4 TABLETS PER 15 GALLON PLANT • LARGER PLANTS: 2 TABLETS PER ½" CALIPER OF TRUNK

I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY. J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE IT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE. . GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION

M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, PERENNIALS/ANNUALS SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND

N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE

O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN. TRANSPLANTING (WHEN REQUIRED

A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT,

C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30. D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.

F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED AT THE OWNER'S REQUEST OR IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT REQUIRED TO ENSURE THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.

WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES. C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT

ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH. A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 2 YEARS FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE LANDSCAPE ARCHITECT AND/OR ENGINEER AND THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE

LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE

B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE. WITHOUT EXCEPTION.

C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING

AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS. A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT

AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED. B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

**REVISIONS** COMMENT REV DATE



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PROJECT No.: DRAWN BY: **CHECKED BY:** 

CAD I.D.: JS200709-LND-0 PROJECT:

**AMENDED** PRELIMINARY & FINAL MAJOR SITE

> PLAN LINDEN

DEVELOPMENT,

PROPOSED FREDDY'S FROZEN **CUSTARD & STEAKBURGERS WITH** 

DRIVE-THRU BLOCK 469; LOT 38.05 PLEASANT STREET AND EDGAR ROAD (N.J.S.H. ROUTE 1 & 9) CITY OF LINDEN

UNION COUNTY, NEW JERSEY

30 INDEPENDENCE BLVD., SUITE 200 **WARREN. NJ 07059** Phone: (908) 668-8300

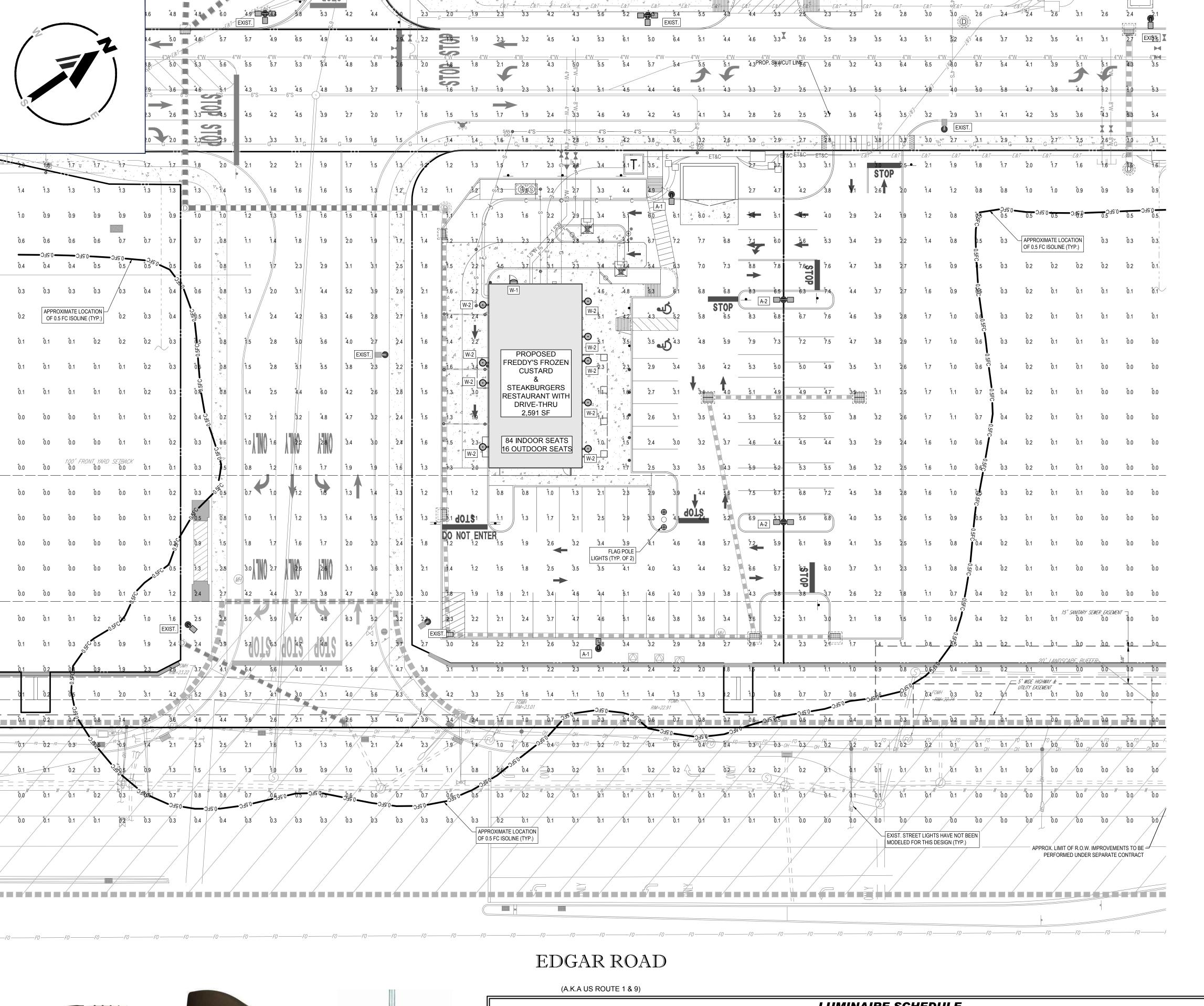
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D.F. WISOTSKY

:PROFESSIONAL ENGINEER: NEW JERSEY LICENSE No. 42951 CONNECTICUT LICENSE No. 22098 NEW YORK LICENSE No. 073745

SHEET TITLE:

**LANDSCAPE NOTES & DETAILS** 



4. PROPOSED FLAG POLE LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN. REFER TO ARCHITECTURAL PLANS FOR ORDERING INFORMATION

# **LIGHTING NOTES**

(Rev. 1/2020)

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.

2. THE LIGHTING CONTRACTOR MUST COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS. 3. THE LIGHTING PLAN DEPICTS PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE

NOTED MANUFACTURER. ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS. 4. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC

PLANE AT GROUND LEVEL UNLESS OTHERWISE NOTED. ILLUMINATION LEVELS ARE SHOWN IN FOOT-CANDLES (FC). 5. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY, THIS WORK SHOULD INCLUDE, BUT IS NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S

ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITIES BECOMES SOLELY THE OWNER'S. 6. THE LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES. POWER SYSTEM, CONDUITS, WIRING AND OTHER ELECTRICAL COMPONENTS ARE SOLELY THE ARCHITECT'S, MECHANICAL ENGINEER'S AND/OR LIGHTING CONTRACTOR'S RESPONSIBILITY, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THE LIGHTING CONTRACTOR MUST COORDINATE WITH THE PROJECT ARCHITECT AND/OR ELECTRICAL ENGINEER REGARDING ANY AND ALL POWER SOURCES AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF LIGHTING FIXTURES AND APPURTENANCES IN

ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES. THE CONTRACTOR MUST BRING IMMEDIATELY, IN WRITING, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURE(S) TO THE ENGINEER OF RECORD'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. 8. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE LIGHTING LEVELS THE REVIEWING AGENCY APPROVED.

9. THE ACTUAL LIGHTING LEVELS MUST BE VERIFIED IN THE FIELD AND FIXTURES ADJUSTED ACCORDINGLY, BY THE CONTRACTOR TO ACHIEVE THE APPROVED LIGHT LEVELS.

10. ILLUMINATION LEVELS SHOWN ON THE PLAN HAVE BEEN CALCULATED FOR PROPOSED LIGHTS ONLY. ACTUAL ILLUMINATION LEVELS IN THE FIELD MAY DIFFER FROM THOSE DEPICTED ON THE PLAN DUE TO INTERFERENCE FROM EXISTING/AMBIENT

LIGHTS WHOSE ILLUMINATION LEVELS ARE NOT REFLECTED ON THIS PLAN. 11. ILLUMINATION LEVELS SHOWN ON THE PLAN WERE CALCULATED WITH LIGHTING DESIGN SOFTWARE AGI32 BY LIGHTING

CALCULATION SUMMARY											
LOCATION	UNITS	AVG.	MAX.	MIN.	AVG./MIN.	MAX./MIN.					
FREDDY'S CUSTARD PARKING AREA	FC	3.81	8.8	0.8	4.76	11.00					
EDEDDVIS CLISTADD WALKWAYS	EC	2 17	6.7	0.7	4.53	0.57					

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	ARRNGMNT.	LUMENS	LLF	COLOR TEMP.	IES FILENAME	CATALOG#
	2	A-1	28'	GE EVOLVE (EALP) SERIES LED AREA LIGHT (25 FT POLE ON 3 FT BASE)	SINGLE	25,000	0.900	5000K	EALP03_J4AF750IES	EALP-03-XXX-J4-AF-7-50-N-D-D1-BLCK-F
	2	A-2	28'	GE EVOLVE (EALP) SERIES LED AREA LIGHT (25 FT POLE ON 3 FT BASE)	BACK-TO-BACK	25,000 (X2)	0.900	5000K	EALP03_J4AF750IES	EALP-03-XXX-J4-AF-7-50-N-D-D1-BLCK-F
	1	W-1	8'	HUBBELL OUTDOOR LIGHTING LNC LITEPACK LED WALL PACK LIGHT	SINGLE	2,095	0.900	5000K	LNC-9LU-5K-4.IES	LNC-9L-XXX-5K-4-BLT
<u></u>	9	W-2	15.2'	ACCENT LIGHTING W512 GOOSENECK SERIES LED WALL SCONCE	SINGLE	1,820	0.900	3000K	LED25W-3K-1260984.IES	W512/43/E3A/43/LWTM/LED20W/3L/120/277V FINISH: 43-RED
2. CONTRACTOR 1	O VERIFY EXI	STING LIGHT ARE		IGN AND HAVE BEEN LABELED AS 'EXIST.' ON THE PLAN. ALL EXISTING LIGHTS ARI ON AND NOTIFY PROJECT ENGINEER IF ANY FIXTURES NEED TO BE REPLACED. DESIGN	E ASSUMED TO BE IN GOOD	WORKING CONDITION	٧.			

REFER TO DETAIL SHEET FOR LIGHT POLE FOUNDATION DETAIL& LIGHT POLE SPECIFICATIONS

REFER TO NOTES AND REFERENCES SHEET FOR ADDITIONAL NOTES, REFERENCES AND SPECIFICATIONS.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY

**GRAPHIC SCALE** 

1 INCH = 20 FEET

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**AMENDED** 

PRELIMINARY &

FINAL MAJOR SITE PLAN

LINDEN

**DEVELOPMENT,** 

PROPOSED FREDDY'S FROZEN

**CUSTARD & STEAKBURGERS WITH** 

DRIVE-THRU

BLOCK 469; LOT 38.05 LEASANT STREET AND EDGAR ROAD

(N.J.S.H. ROUTE 1 & 9)

CITY OF LINDEN

UNION COUNTY, NEW JERSEY

JS200709-LGT-00

DRAWN BY:

DATE: CAD I.D.:

PROJECT:

REV DATE

# D.F. WISOTSKY

PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 42951

CONNECTICUT LICENSE No. 22098 NEW YORK LICENSE No. 073745

SHEET TITLE:

**LIGHTING** PLAN

C-703

ORG. DATE - 07/20/2020



GE EVOLVE (EALP) SERIES LED AREA LIGHT (A-1 & A-2)



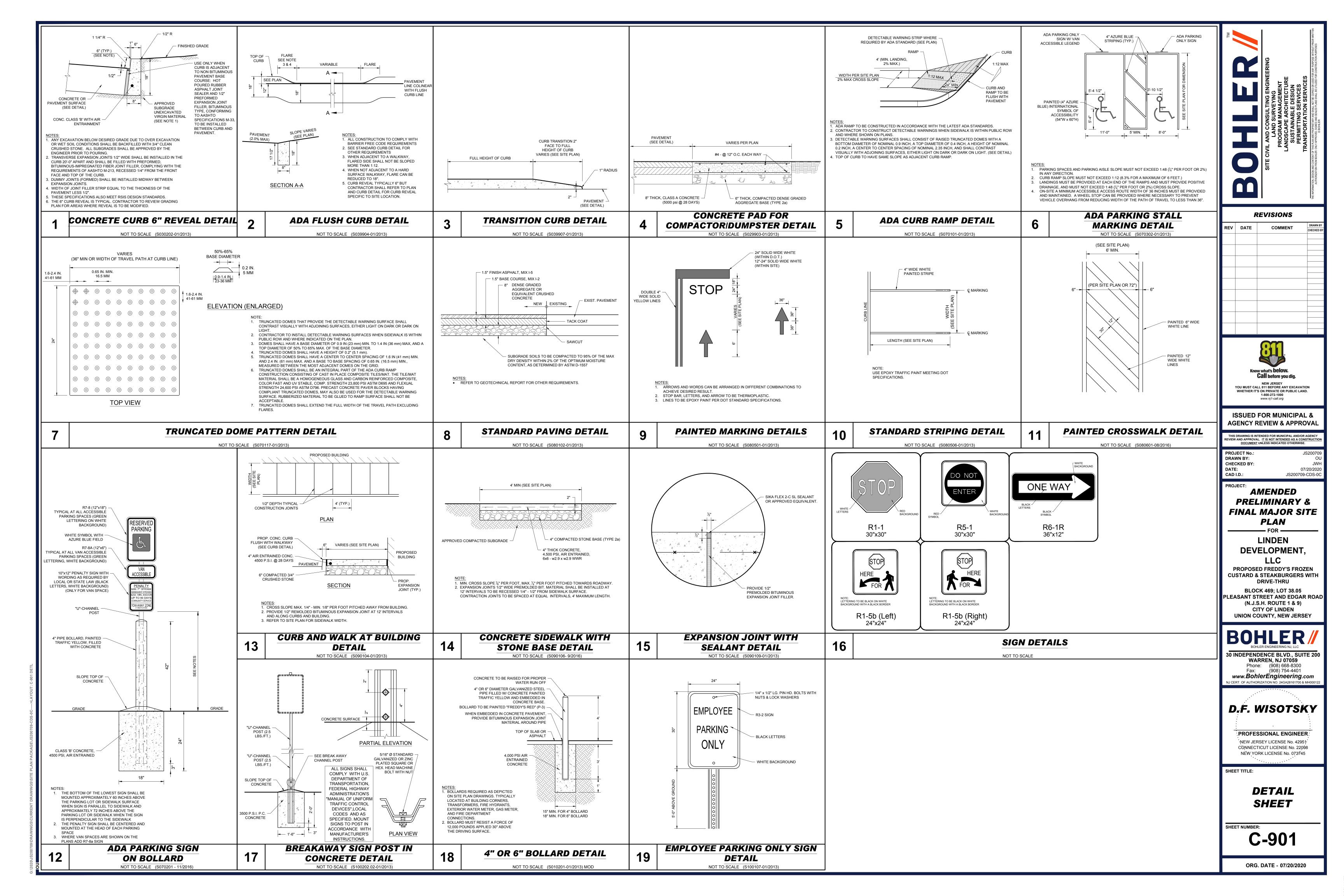
**HUBBELL OUTDOOR** LIGHTING LNC LITEPACK LED WALL PACK (W-1)

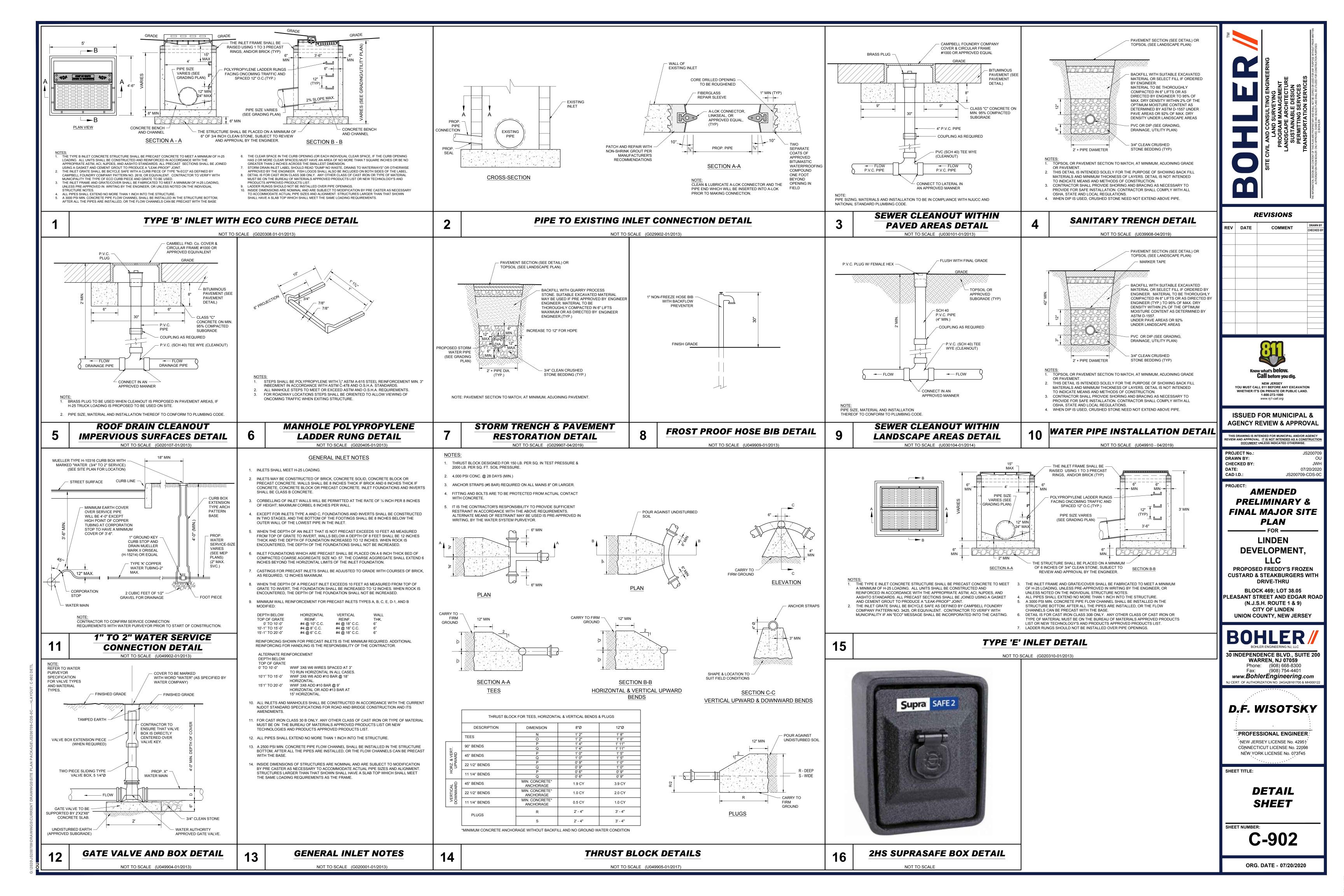
NOT TO SCALE

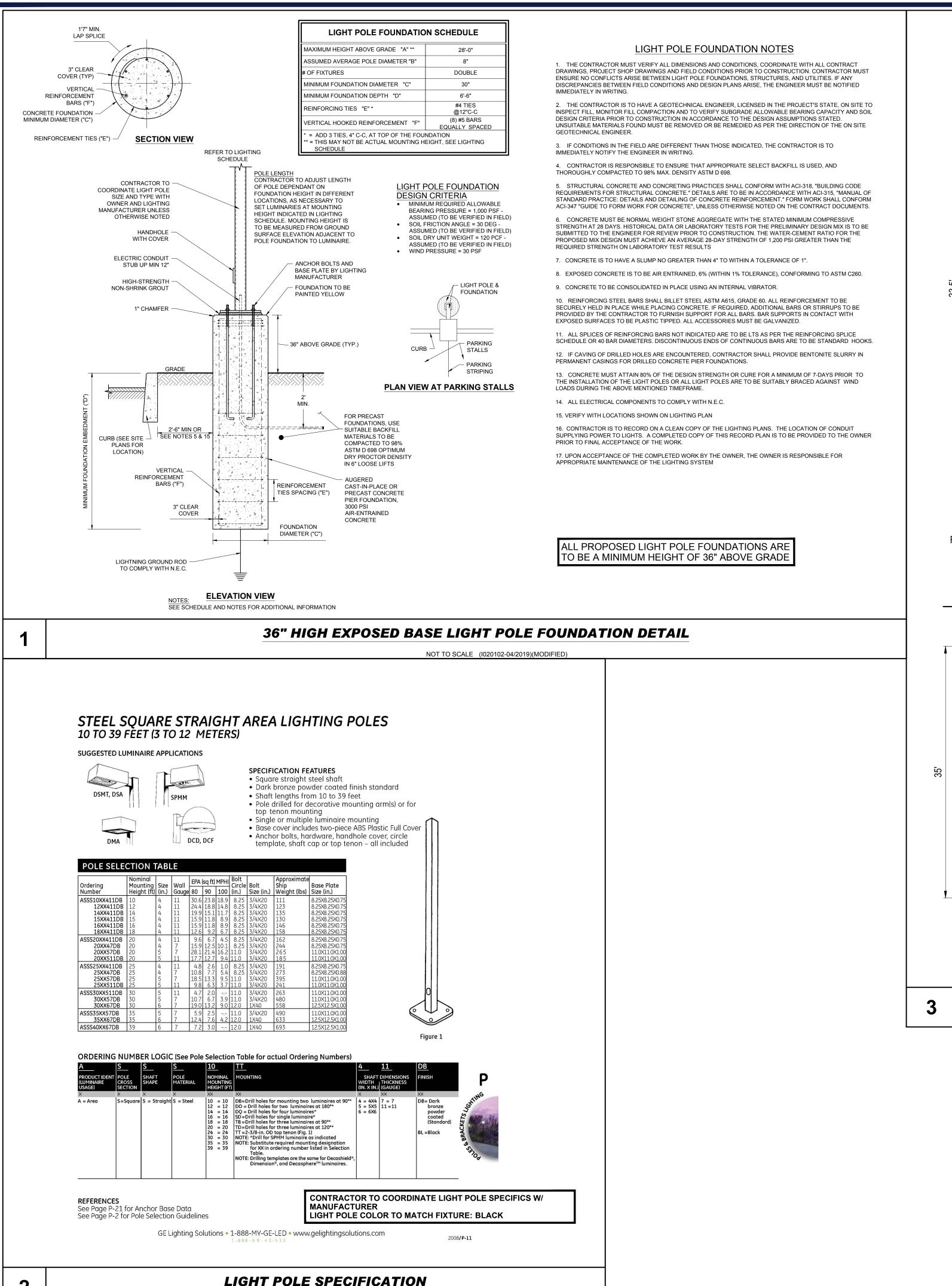


**ACCENT LIGHTING W512 GOOSENECK SERIES LED WALL SCONCE (W-2)** 

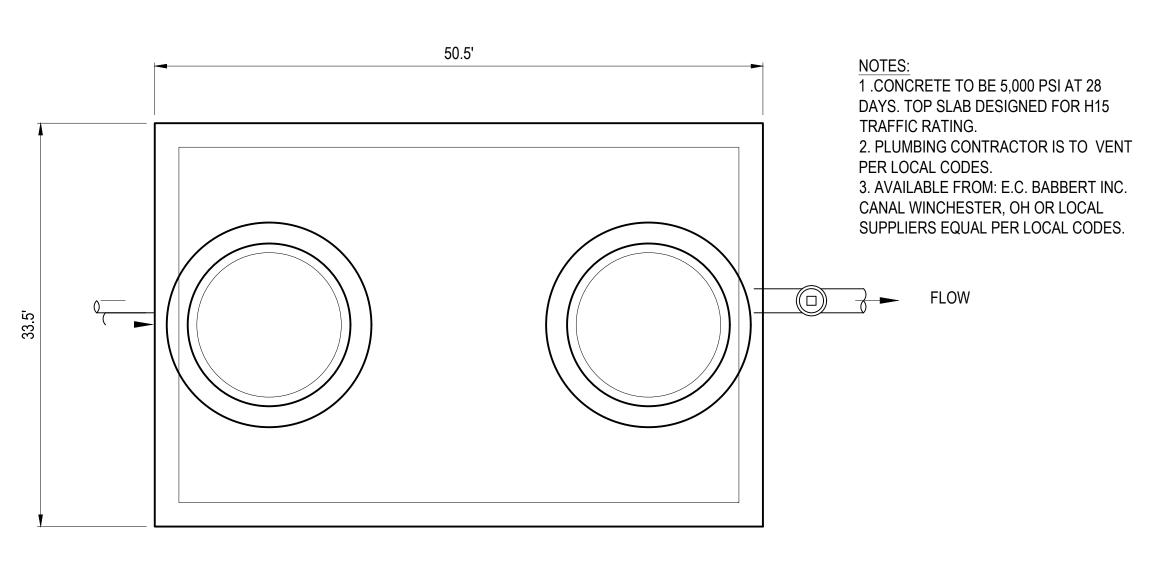
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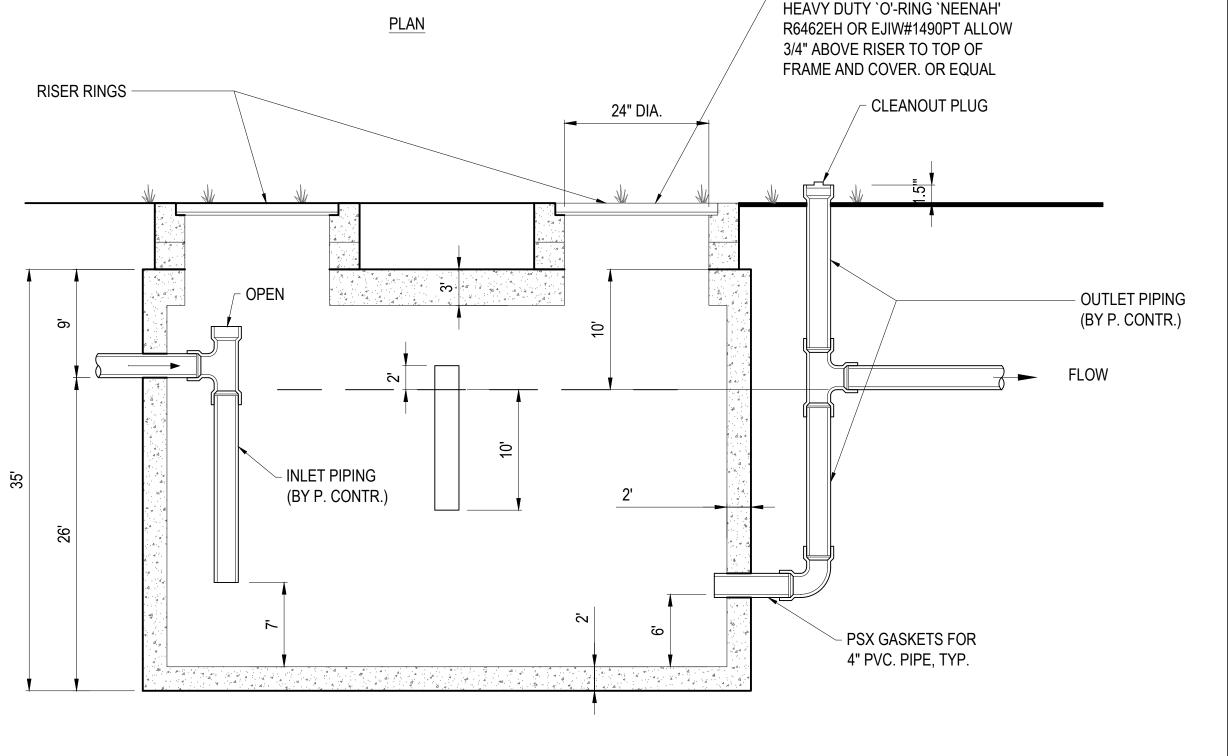






NOT TO SCALE SOURCE: GE LIGHTING SOLUTIONS





OPTIONAL FRAME AND COVER,

1000 GALLON GREASE INTERCEPTOR

N.T.S.

D.F. WISOTSKY

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UNION COUNTY, NEW JERSEY

30 INDEPENDENCE BLVD., SUITE 200 WARREN, NJ 07059

Phone: (908) 668-8300

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PLEASANT STREET AND EDGAR ROAD

JS200709-CDS-00

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NEW YORK LICENSE No. 073745

SHEET TITLE:

DETAIL SHEET

SHEET NUMBER

C-903