

FOR

LINDEN DEVELOPMENT, LLC

PROPOSED

FREDDY'S FROZEN CUSTARD & STEAKBURGERS

W/ DRIVE-THRU

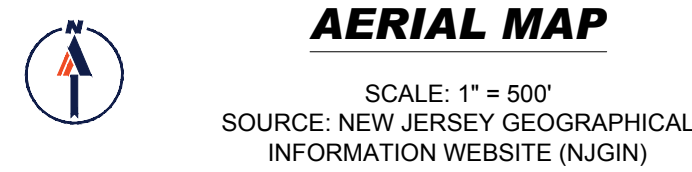
PLEASANT STREET AND EDGAR ROAD (N.J.S.H. ROUTE 1 & 9)
CITY OF LINDEN
UNION COUNTY, NEW JERSEY
PCD ZONE; TAX MAP SHEET #96



WITHIN 200' RADIUS

ALSO TO BE NOTIFIED:	
MICHAEL E. STONAC, MANAGER ENGINEERING DESIGN ONE ELIZABETHTOWN PLAZA, 3 RD FL EAST UNION, NJ 07083	CONCAT CABLE 800 RANNEY AVENUE UNION, NJ 07083
OWENS CORNING FIBER SUPPLY/DO NEW JERSEY AMERICAN WATER COMPANY, INC. 1023 LAUREL OAK ROAD YORKHEEDS, NJ 08564	SUNPIPE LINE COMPANY RIGHT OF WAY DEPT 26 TH FLOOR 1801 MARKET STREET PHILADELPHIA, PA 19103-1699
PUBLIC SERVICE ENTERPRISE & GAS CO. MANAGER, CORPORATION PROPERTIES B-100 PARK 180, 18 TH FLOOR NEWARK, NJ 07102	SUNCOCK PIPELINE L.P. RIGHT OF WAY DEPT MONTELOO COMPLEX 320 FRIETOWN ROAD SINKING SPRING, PA 19028
ELIZABETHTOWN GAS COMPANY DEVELOPER 320 GREEN LANE UNION, NJ 07083	NEW JERSEY DEPARTMENT OF TRANSPORTATION 1025 PARKWAY AVENUE TRENTON, NJ 08625
VERSTRA C/O THOMAS GRANDPICKS 445 GEORGES ROAD NORTH BRUNSWICK, NJ 08902	

LINDEN DEVELOPMENT, LLC
8144 WALNUT HILL LANE, SUITE 1200
DALLAS, TEXAS 75231
TEL: (646) 253-1206



SHEET TITLE	NUMBER
COVER SHEET	C-101
GENERAL NOTES SHEET	C-102
ZONING NOTES SHEET	C-103
OVERALL SITE LAYOUT PLAN	C-301
SITE LAYOUT & DEMOLITION PLAN	C-302
GRADING PLAN	C-401
DRAINAGE AND UTILITIES PLAN	C-501
SOIL AND EROSION CONTROL PLAN	C-601
SOIL AND EROSION CONTROL NOTES & DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES & DETAILS	C-702
LIGHTING PLAN	C-703
DETAIL SHEET	C-901
DETAIL SHEET	C-902
DETAIL SHEET	C-903
ALTA SURVEY (BY OTHERS)	1 OF 1

CITY OF LINDEN BOARD APPROVAL APPROVED BY THE CITY OF LINDEN PLANNING BOARD.	
BOARD SECRETARY	DATE
BOARD CHAIRPERSON	DATE
BOARD ENGINEER	DATE

UNION COUNTY BOARD APPROVAL APPROVED BY THE CITY OF LINDEN PLANNING BOARD.	
BOARD SECRETARY	DATE
BOARD CHAIRPERSON	DATE
BOARD ENGINEER	DATE

REVISIONS



**ISSUED FOR MUNICIPAL &
AGENCY REVIEW & APPROVAL**

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REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT: **MEMBER**

**LINDEN
DEVELOPMENT,
LLC
PROPOSED FREDDY'S FROZEN
CUSTARD & STEAKBURGERS WITH
DRIVE-THRU
BLOCK 469; LOT 38.05
PLEASANT STREET AND EDGAR ROAD
(N.J.S.H. ROUTE 1 & 9)
CITY OF LINDEN
UNION COUNTY, NEW JERSEY**

30 INDEPENDENCE BLVD., SUITE 200
WARREN, NJ 07059
 Phone: (908) 668-8300
 Fax: (908) 754-4401
www.BohlerEngineering.com
 NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000122

PROFESSIONAL ENGINEER:
NEW JERSEY LICENSE No. 42951
CONNECTICUT LICENSE No. 22098
NEW YORK LICENSE No. 073745

SHEET TITLE:

SHEET NUMBER:

C-101

DATE - 07/20/2020

[illegible][illegible][illegible][illegible]

DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT AND THE CONTRACTOR MUST REFER TO THEM AND FULLY FOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY IFC NOTES, AND THE CONTRACTOR MUST INDEPENDENTLY LOCAL UTILITY COMPANIES PRIOR TO COMMENCING ANY INDEPENDENTLY VERIFY AND CONFIRM ALL SANITARY CONNECTION THE FIELD. PRIOR TO COMMENCING ANY CONSTRUCTION, THE OMISSIONS IN WRITING, TO THE ENGINEER OF RECORD. CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE EM TO LOCATE ALL OF THE UNDERGROUND UTILITIES. THE ANY EXISTING UTILITIES WHICH OCCUR DURING CONTRACTOR'S SOLE COST AND EXPENSE, THE CONTRACTOR MUST BEAR ES WHICH OCCURS DURING CONSTRUCTION. (CE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND TO COMMENCEMENT OF CONSTRUCTION. TURAL PLANS, THE CONTRACTOR IS RESPONSIBLE FOR RURAL PLANS. AN DOCUMENTS AND ARCHITECTURAL PLANS FOR EXACT REQUIREMENTS AND DETAILS, DOOR ACCESS, AND EXTERIOR ES SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION DO CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL REGULATORY AGENCIES AND ALL OTHER APPLICABLE ES SIZES. THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS E-INSTALLED LOCATIONS OF ALL UNDERGROUND ANY INSTALLATIONS THAT DEVIATE, IN ANY RESPECT, FROM THE BE KEPT ON A CLEAN COPY OF THE SITE PLAN, WHICH THE EADILY UPON THE COMPLETION OF WORK. LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SANITARY, AND WITH REFERENCED MUNICIPAL, COUNTY AND OR STATE DOT INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE TO BE RELOCATED ARE AT THE SOLE DISCRETION OF THE IN A DEPTHS. EMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY, TY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE STORMWATER FLOW, OR INDUSTRIAL FLOW MUST BE EET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT E AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER RNMENTAL AGENCY WITH JURISDICTION OVER SAME. WHERE E, THE SEWER MUST BE ENCASED IN CONCRETE, OR UP ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST SANITARY UTILITIES, AND IRRIGATION LINES, TO A POINT AT LEAST CONTRACTOR IS RESPONSIBLE, THE CONTRACTOR MUST CAP DEEPS, AND NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN PROVIDE TO THE OWNER IMMEDIATELY UPON THE COMPLETION AND ARE MEASURED FROM CENTER OF INLET AND/OR ENGINEER AT LEAST THREE (3) BUSINESS DAYS PRIOR TO SANITARY INSTALLATION AND TESTING OBSERVED BY THE CONTRACTOR, AND RE-TESTING, WHICH WILL BE DONE AT THE OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS TE, DUCTILE IRON OR OTHER SUITABLE MATERIAL. EIGHT WHERE CLEARLY INDICATED OTHERWISE. (PVC) SDR 35 PER ASTM D3034. IDE (PVC) SDR 26 PER ASTM D3034. 26 UNLESS CLEARLY INDICATED OTHERWISE. E BE REINFORCED CONCRETE PIPES (RCP) CLASS II WITH E (HOPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM E PIPES 12" TO 60" AND TYPE S (SMOOTH INTERIOR) WITH E JOINT. PIPE FOR ROOF DRAIN CONNECTION MUST BE HDPE SDR E PIPE JOINT GASKETS MUST BE PROVIDED AND CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN INSTALLED WITHIN THE EXTERIOR OF THE BUILDING AS CAN VERTICAL DATUM OF 1983. AND PERFORM ALL WORK IN ACCORDANCE WITH THAT PLAN. INFORMATION

REFERENCES

CONTACTS

ED BY CONTROL POINT ASSOCIATES, INC., DATED 08/22/2017.

CONTROL POINT ASSOCIATES, INC., FOR LINDEN
VISITED 06/27/2018

CONTROL POINT ASSOCIATES, INC., FOR LINDEN DEVELOPMENT, LLC.

CONTROL POINT ASSOCIATES, INC., FOR LINDEN DEVELOPMENT, L

ED BY BOHLER ENGINEERING NJ, LLC DATED 03/21/14, LAST

ED BY BOHLER ENGINEERING NJ, LLC DATED 03/21/14, LAST

ED BY BOHLER ENGINEERING, DATED 01/2018.

AL ENGINEERING REPORT" PREPARED BY GEOTECHNICAL
ED 07/2018.

N ENGINEERING AND ENVIRONMENTAL SERVICES, INC., DATED

ENGINEERING AND ENVIRONMENTAL SERVICES, INC., DATED

ED BY TELGIAN ENGINEERING & CONSULTING, DATED

SITE PLAN" PREPARED BY BOHLER ENGINEERING NJ, LLC. FOR
LAST REVISED 08/24/2018. PLAN SET PART OF RESOLUTION NO.

ANNING BOARD, APPLICATION NO. SP-1034-14, FOR LINDEN

ANNING BOARD, APPLICATION NO. SP-1099-19, FOR LINDEN

BY PARADIGM ARCHITECTURE, LLC DATED 12/11/2018.

ED BY BOHLER ENGINEERING NJ, LLC. FOR NORTHS TAR

DASSA MULTIMEDIA ARCHITECTURE, PC. DATED 04/29/2020.

EDIA ARCHITECTURE, PC. DATED 02/22/2019.

EDIA ARCHITECTURE, PC. DATED 02/22/2019.

[illegible]

<div style="display: flex; justify-content: space-between;"> <div style="width: 40%;"> <p style="margin: 0;">ZONING TABLE</p> </div> <div style="width: 60%; text-align: right;"> <p style="margin: 0; font-size: 0.8em;">ZONE: RCD PROPOSED USE: FAST FOOD RESTAURANT (PERMITTED) BLOCK: 469, LOT: 38.05</p> </div> </div>			
APPLICANT / OWNER INFORMATION			
APPLICANT:	LINDEN DEVELOPMENT, LLC. 8144 WALNUT HILL LANE, SUITE 1200 DALLAS, TEXAS 75231		
PROPERTY OWNER:	LINDEN DEVELOPMENT, LLC. 8144 WALNUT HILL LANE, SUITE 1200 DALLAS, TEXAS 75231		
BULK REQUIREMENTS			
ITEM	CODE	PERMITTED	PROPOSED DEVELOPMENT LOT*
MIN. LOT SIZE (INDIVIDUAL LOT DEVELOPMENT)	§ 31-11.4 b(1)	30,000 SF	30,092 SF
MIN. STREET FRONTAGE (INDIVIDUAL LOT DEVELOPMENT)	§ 31-11.4 b(2)	100'	0**
MIN. TRACT SIZE (OVERALL TRACT DEVELOPMENT)	§ 31-11.4 a(1)	30 ACRES	42.54 ACRES (NO CHANGE)
MIN. TRACT STREET FRONTAGE ALONG ROUTE 1 & 9 RIGHT OF WAY (OVERALL TRACT DEVELOPMENT)	§ 31-11.4 a(2)	1,700'	2,094.36' (NO CHANGE)
MIN. LOT DEPTH (INDIVIDUAL LOT DEVELOPMENT)	§ 31-11.4 b(6)	150'	203.5'
PRINCIPAL BUILDING SETBACK (<100,000 SF) FROM ROUTE 1 & 9	§ 31-11.4 a(3)(a)	50'	100'
PRINCIPAL BUILDING SETBACK FROM PLEASANT STREET	§ 31-11.4 a(3)(b)	30'	1,152.6'
PRINCIPAL BUILDING SETBACK FROM ALL OTHER ZONE BOUNDARIES	§ 31-11.4 a(3)(c)	25'	42' (NO CHANGE)
MAX. BUILDING HEIGHT FOR RETAIL AND RESTAURANT	§ 31-11.4 c(1) and (2)	2-1/2 STORIES 50'	1 STORY 24'
MAX. BUILDING COVERAGE	§ 31-11.4a(4)	50%	8.61 % (2.591 SF)
MIN. BUILDING COVERAGE	§ 31-11.4a(4)	5%	8.61 % (2.591 SF)
MAX. IMPERVIOUS COVERAGE**	§ 31-11.4a(5)	90%	78.08 % (23,496.4 SF)
MIN. SIDEWALK WIDTH	§ 31-11.9(c)	5'	5'
LANDSCAPED ISLANDS BETWEEN DRIVE-THRU LANES/CIRCULATE ISLES	§ 31-19.8.1	3'-5"	0'
TRASH ENCLOSURE DISTANCE FROM ANY INTERNAL PROPERTY LINE	§ 31-11.6 e+2	10'	5.2'
KEY =			VARIANCE REQUIRED
* APPROVED LOT 1 (OUT-LOT #6) ON PREVIOUSLY APPROVED MAJOR SUBDIVISION PLAN (SD-748-20) ** VARIANCE PREVIOUSLY GRANTED *** § 31-11.4a(5) A LOT WHOSE PRINCIPAL BUILDING IS SET BACK ONE HUNDRED (100) FEET OR MORE FROM THE ROUTE 1 & 9 RIGHT-OF-WAY SHALL BE PERMITTED A MAXIMUM COVERAGE OF NINETY PERCENT (90%).			

NOTES:

- SOME IMPROVEMENTS ARE ALSO PROPOSED ON LOT I (OUT-LOT #7) ON PREVIOUSLY APPROVED MAJOR SUBDIVISION PLAN (SD-748-20);
- PARKING SPACES ON LOT I (OUT-LOT #7) ARE TO BE UTILIZED BY FUTURE OWNER/OCCUPANT OF LOT I (OUT-LOT #7)

PARKING REQUIREMENTS		
ITEM	PERMITTED	PROPOSED
MIN. STALL SIZE	9' X 18'	9' X 18'
MIN. NUMBER OF PARKING SPACES FOR EATING AND DRINKING ESTABLISHMENTS	1 PER 150 SF TOTAL EATING AND DRINKING ESTABLISHMENTS = 2,591 SF 2,591 SF/150 = 17.27 SPACES = 18 SPACES	38 SPACES
MIN. OFF-STREET PARKING SETBACK TO FRONT PROPERTY LINE	5'	9.95'
MIN. OFF-STREET PARKING SETBACK TO SIDE AND REAR PROPERTY LINES	3'	0'
INTERIOR ONE-WAY AISLE WIDTH FOR PARKING AREAS	15'	10'
INTERIOR TWO-WAY AISLE WIDTH FOR PARKING AREAS	24'	24'
MIN. SIZE OF DRIVEWAY	12'	18'
MAX. SIZE OF DRIVEWAY EXCLUSIVE OF CURB RETURN RADIUS	36'	27'
MAX. CURB RETURN RADIUS WENTHROP TO PUBLIC STREET	**10'	N/A
KEY =		VARIANCE REQUIRED
**RETAIL USE REQUIRES LARGER RADII TO ALLOW FOR TRUCK DELIVERY TRAFFIC.		

ADA PARKING REQUIREMENTS	
<i>ITEM</i>	<i>PROPOSED</i>
PROPOSED PARKING SPACES	38
REQUIRED ADA SPACES	2
PROPOSED ADA SPACES	2

<i>SIGNAGE REQUIREMENTS</i>			
USE OF INDIVIDUALLY MOUNTED LETTERS SHALL BE LIMITED TO THE FRONTS OF STORES/ (31-11.8F(3d))			
WALL SIGNS FOR RETAIL USE-§ 31-11.8F(3d)			
<i>ITEM</i>	<i>PERMITTED</i>	<i>PROPOSED</i>	
	2 SF PER 1 LF OF MOUNTING WALL OR 300 SF MAX.	SOUTH: 74.4 SF	
MAX. AREA	MOUNTING WALLS: SOUTH: 37 LF x 2 = 74 SF WEST: 73 LF x 2 = 146 SF EAST: 73 LF x 2 = 146 SF	WEST: 74.4 SF EAST: 74.4 SF	
		SOUTH: 74.4 SF WEST: 16.81 LF EAST: 16.81 LF	
MAX. WIDTH	50% OF STOREFRONT WIDTH: SOUTH: 37 LF x 0.5 = 18.5 LF WEST: 73 LF x 0.5 = 36.5 LF EAST: 73 LF x 0.5 = 36.5 LF		
MAX. MOUNTING HEIGHT ABOVE GRADE	20'	15.46'	
MAX. LETTER HEIGHT	30"	15"	
	36" FOR UPPER CASE LETTERS	37.5" (UPPER CASE LETTER)	
KEY =		VARIANCE REQUIRED	

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[illegible]

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PROJECT No.: JS200709-00
DRAWN BY: OUC
CHECKED BY: JWH
DATE: 07/20/2020
CAD I.D.: JS200709-CDS-00

PROJECT: _____

**AMENDED
PRELIMINARY &
FINAL MAJOR SITE
PLAN**

**LINDEN
DEVELOPMENT,
LLC**
PROPOSED FREDDY'S FROZEN
CUSTARD & STEAKBURGERS WITH
DRIVE-THRU

**BLOCK 469; LOT 38.05
PLEASANT STREET AND EDGAR ROAD
(N.J.S.H. ROUTE 1 & 9)
CITY OF LINDEN
UNION COUNTY, NEW JERSEY**

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D.F. WISOTSKY

PROFESSIONAL ENGINEER:
NEW JERSEY LICENSE No. 42951
CONNECTICUT LICENSE No. 22098
NEW YORK LICENSE No. 073745

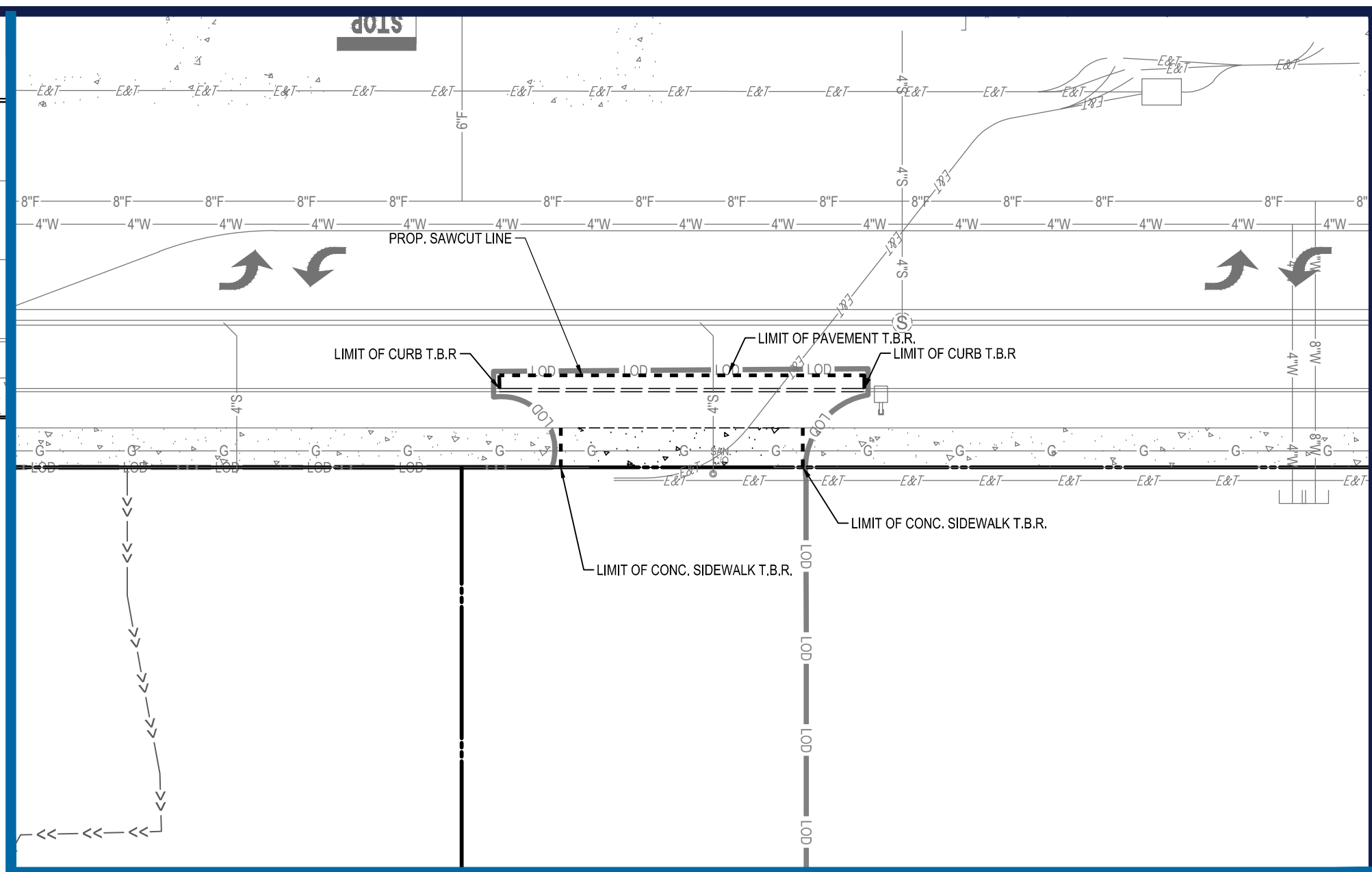
SHEET TITLE:

ZONING NOTES SHEET

SHEET NUMBER: _____

C-103

ORG. DATE - 07/20/2020





(A.K.A US ROUTE 1 & 9)
(VARIABLE WIDTH)
(ASPHALT PAVEMENT ROADWAY)
(2-WAY TRAFFIC)
(40MPH SPEED LIMIT)



(U010102 - 03/12/12)



**REFER TO NOTES AND REFERENCES
SHEET FOR ADDITIONAL NOTES,
REFERENCES AND SPECIFICATIONS.**

**THIS PLAN TO BE UTILIZED FOR SITE
GRADING PURPOSES ONLY**



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PROJECT No.:	JS200709
DRAWN BY:	OU
CHECKED BY:	JWH
DATE:	07/20/2020
CAD I.D.:	JS200709-SPP-00

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FINAL MAJOR SITE
PLAN**

**LINDEN
DEVELOPMENT,
LLC**

**PROPOSED FREDDY'S FROZEN
CUSTARD & STEAKBURGERS WITH
DRIVE-THRU**

**BLOCK 469; LOT 38.05
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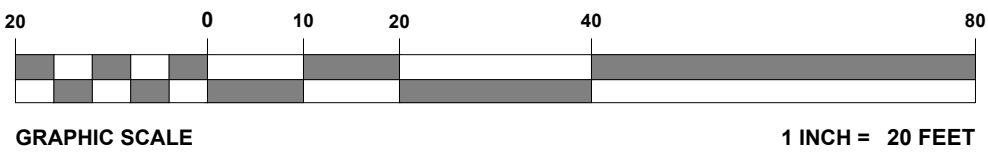
SHEET TITLE:

GRADING PLAN

SHEET NUMBER:

C-401

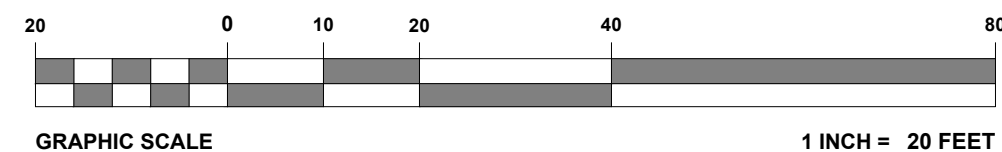
ORG. DATE - 07/20/2020



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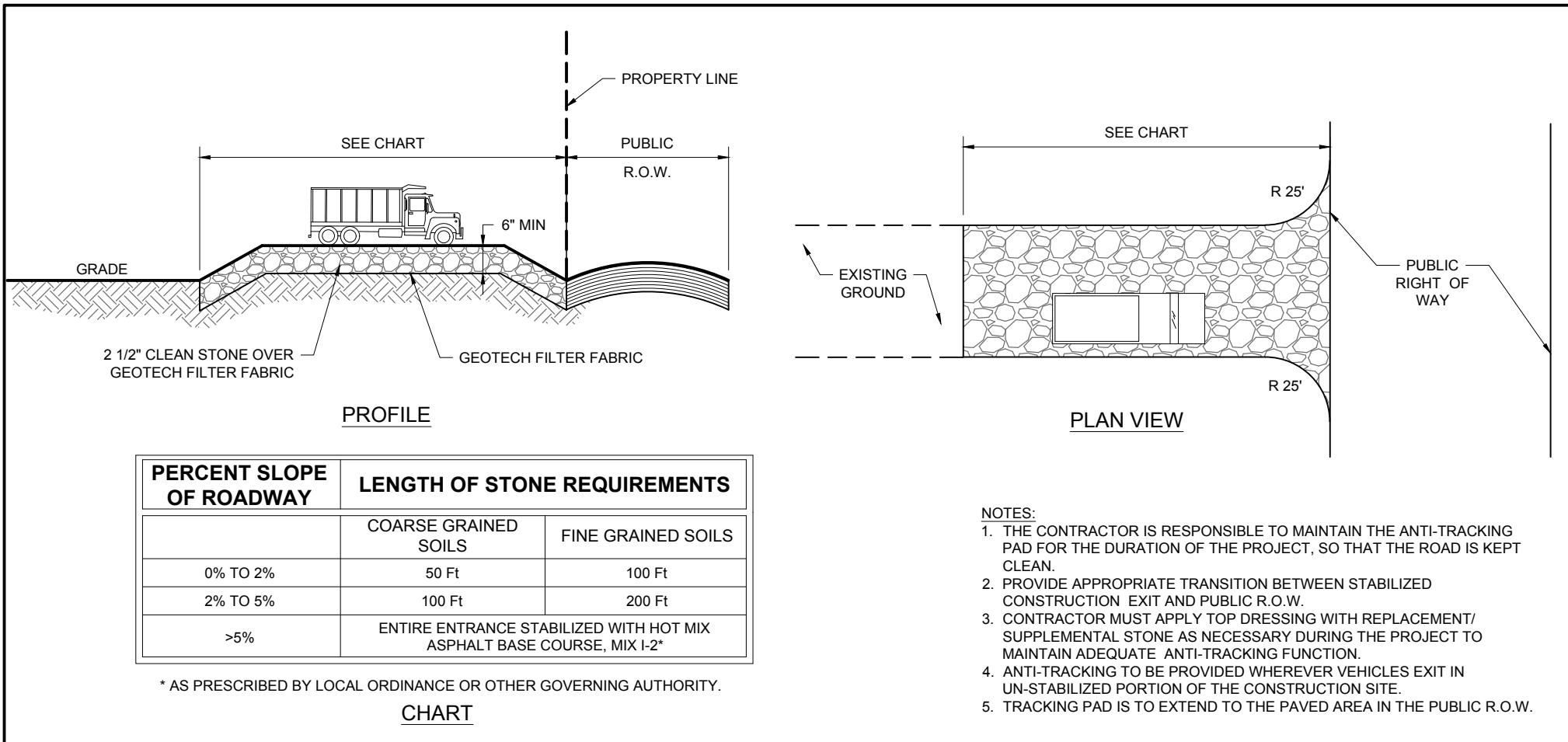
(A.K.A US ROUTE 1 & 9)
(VARIABLE WIDTH)
(ASPHALT PAVEMENT ROADWAY)
(2-WAY TRAFFIC)
(40MPH SPEED LIMIT)



**THIS PLAN TO BE UTILIZED FOR SOIL
EROSION AND SEDIMENT CONTROL
PURPOSES ONLY**

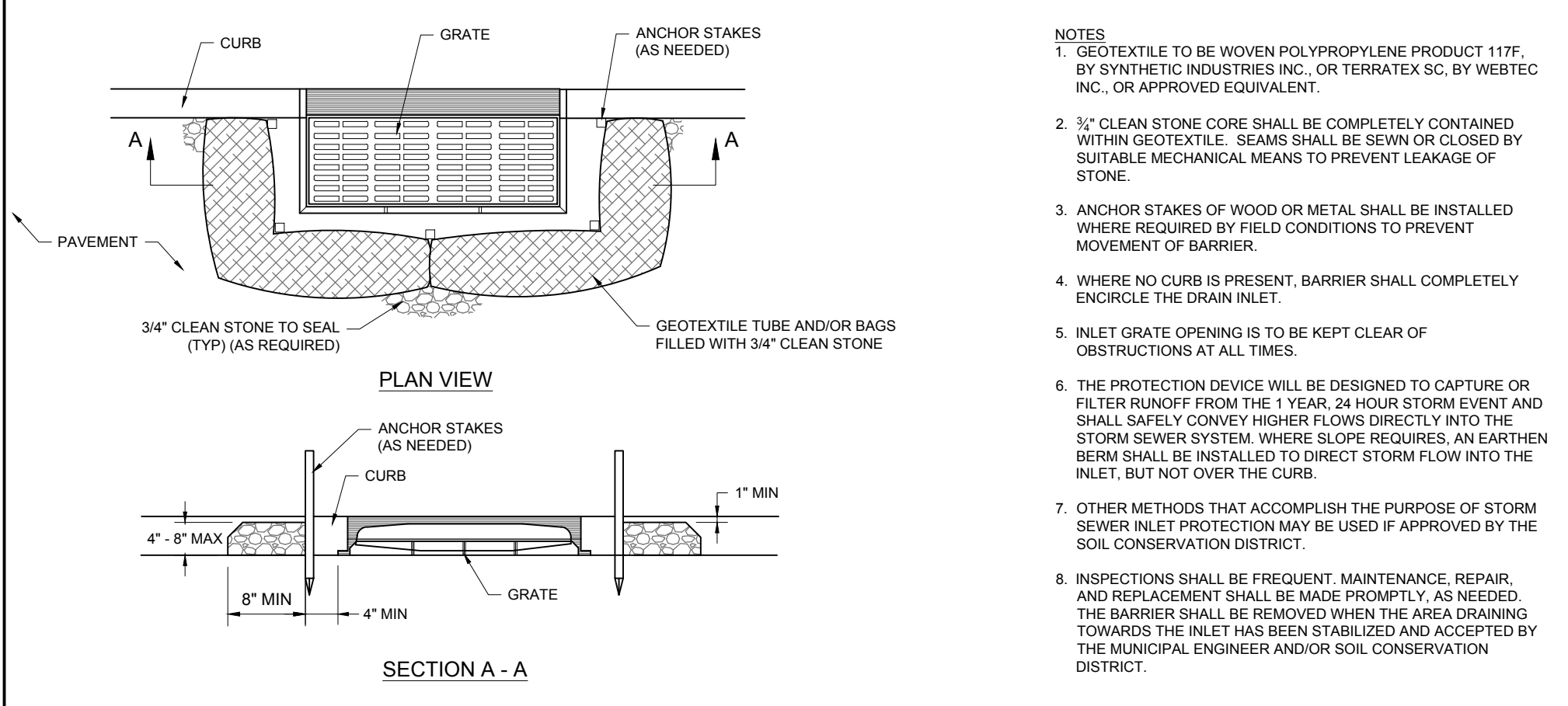
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G:\020\0520709\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\JS200709-CDS-4C ---LAYOUT C-602.BEC



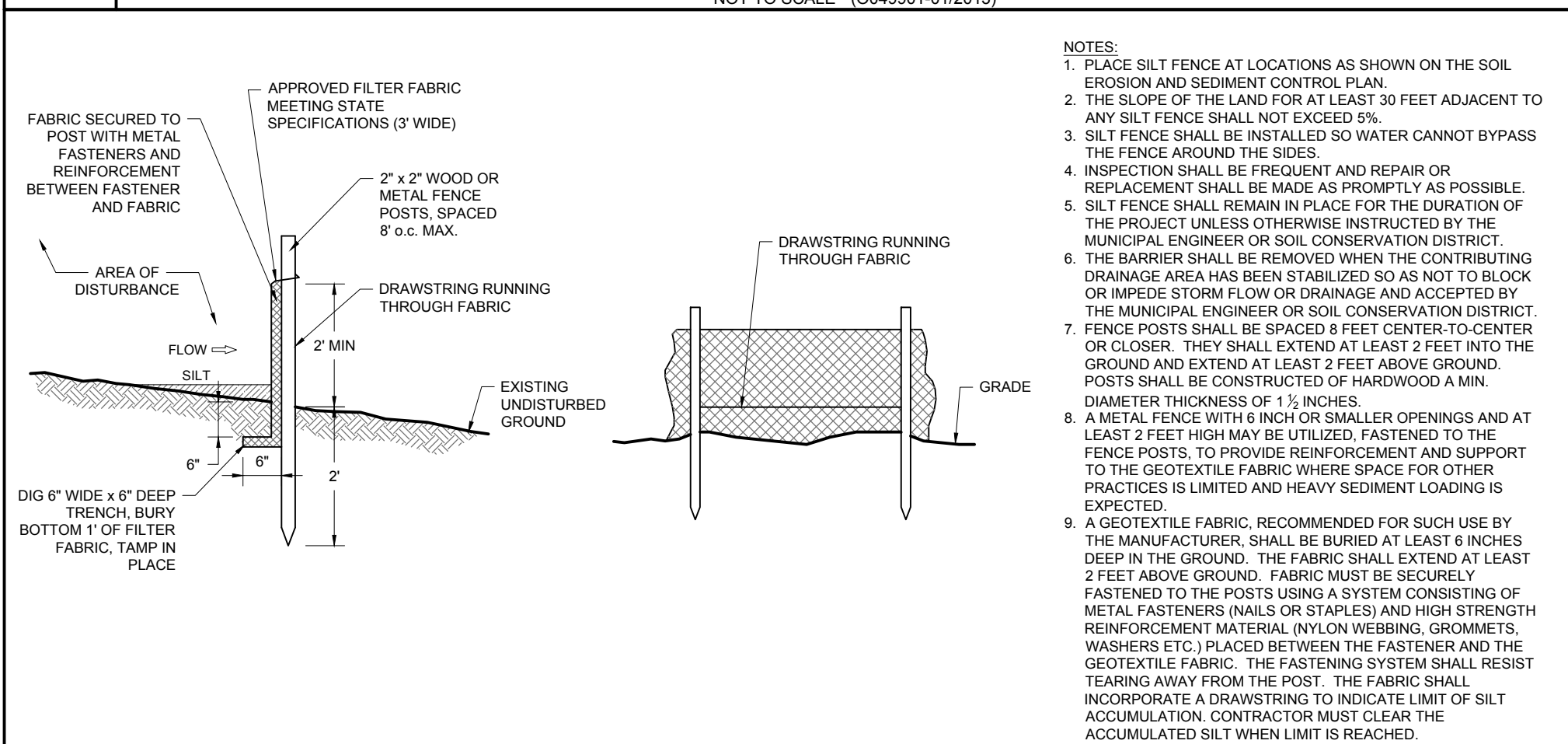
1 STABILIZED CONSTRUCTION EXIT/ACCESS & ANTI-TRACKING PAD DETAIL

NOT TO SCALE (0029901 - 08/2017)



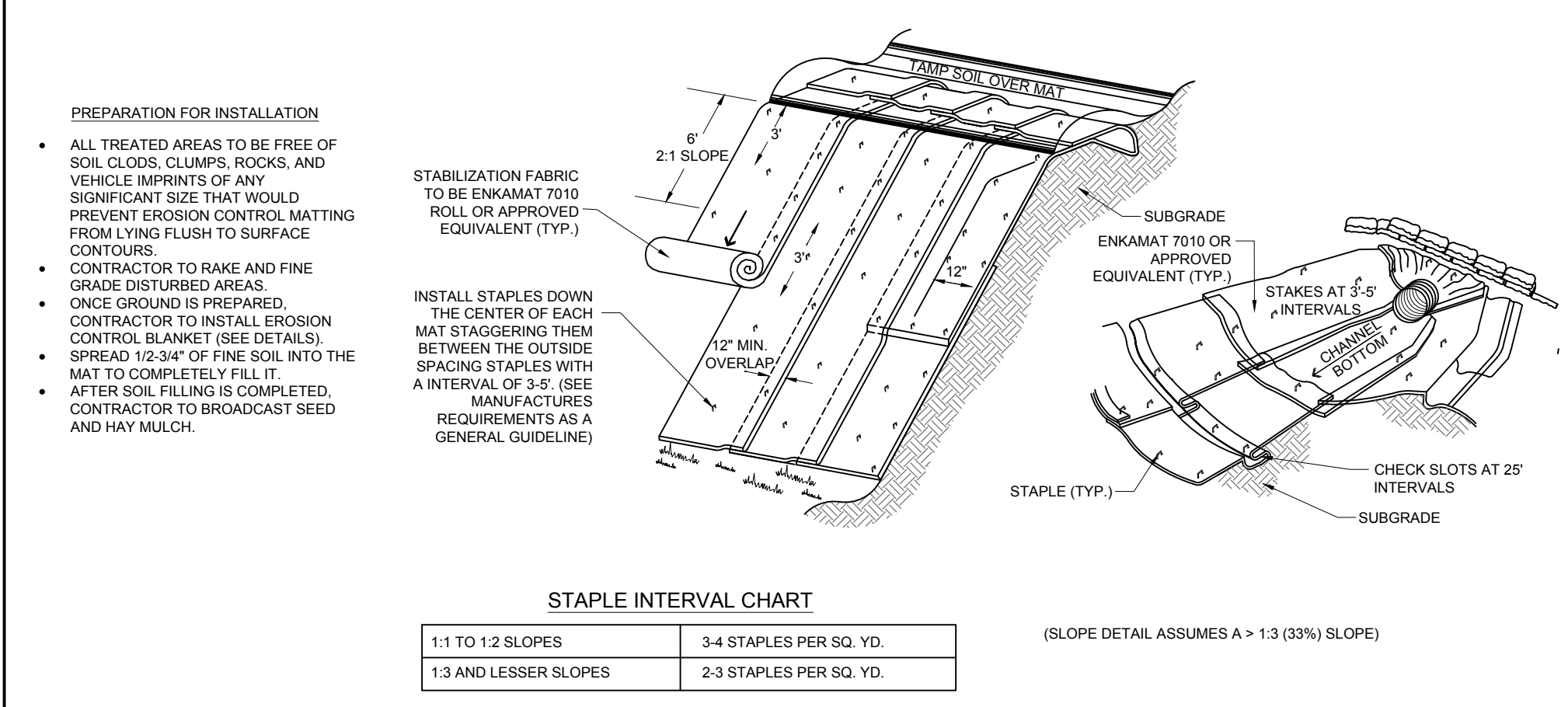
2 INLET FILTER DETAIL

NOT TO SCALE (0049901-01/2013)



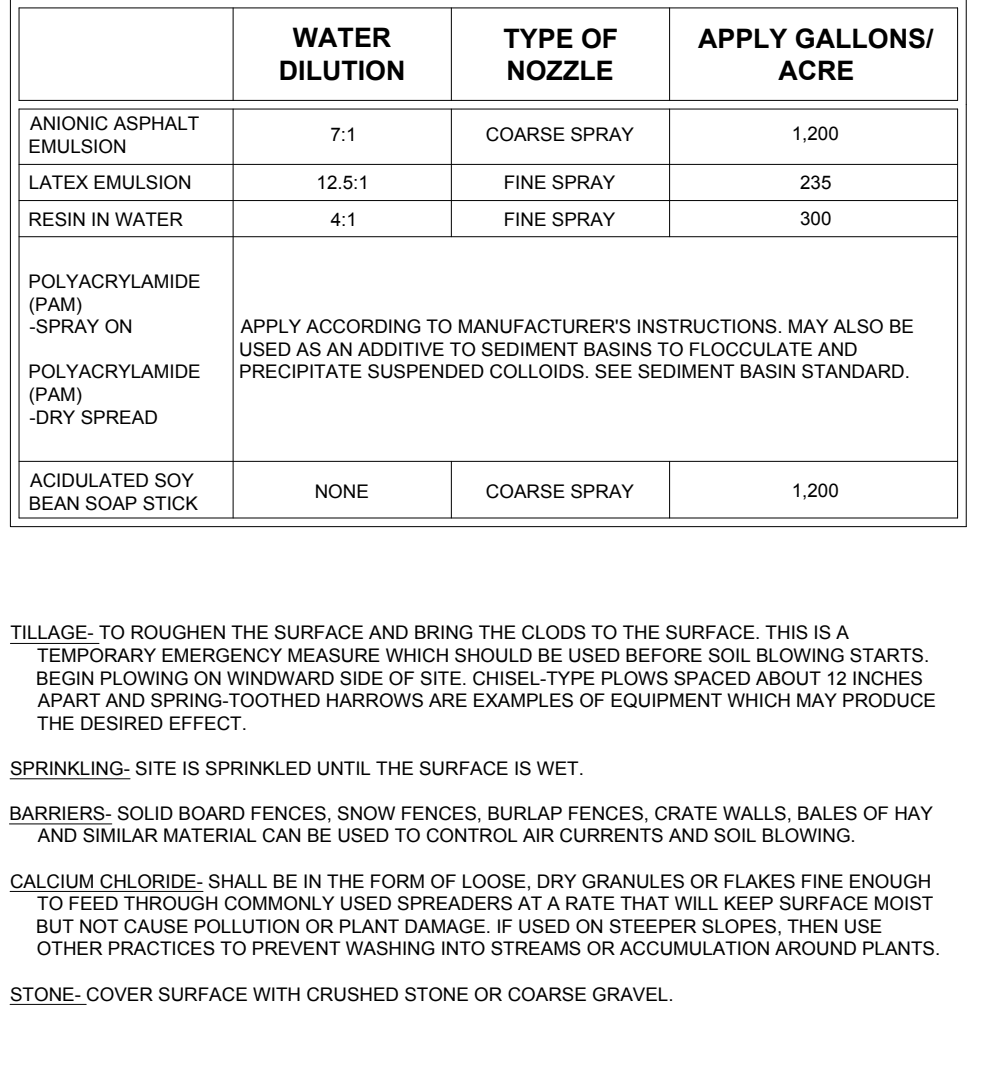
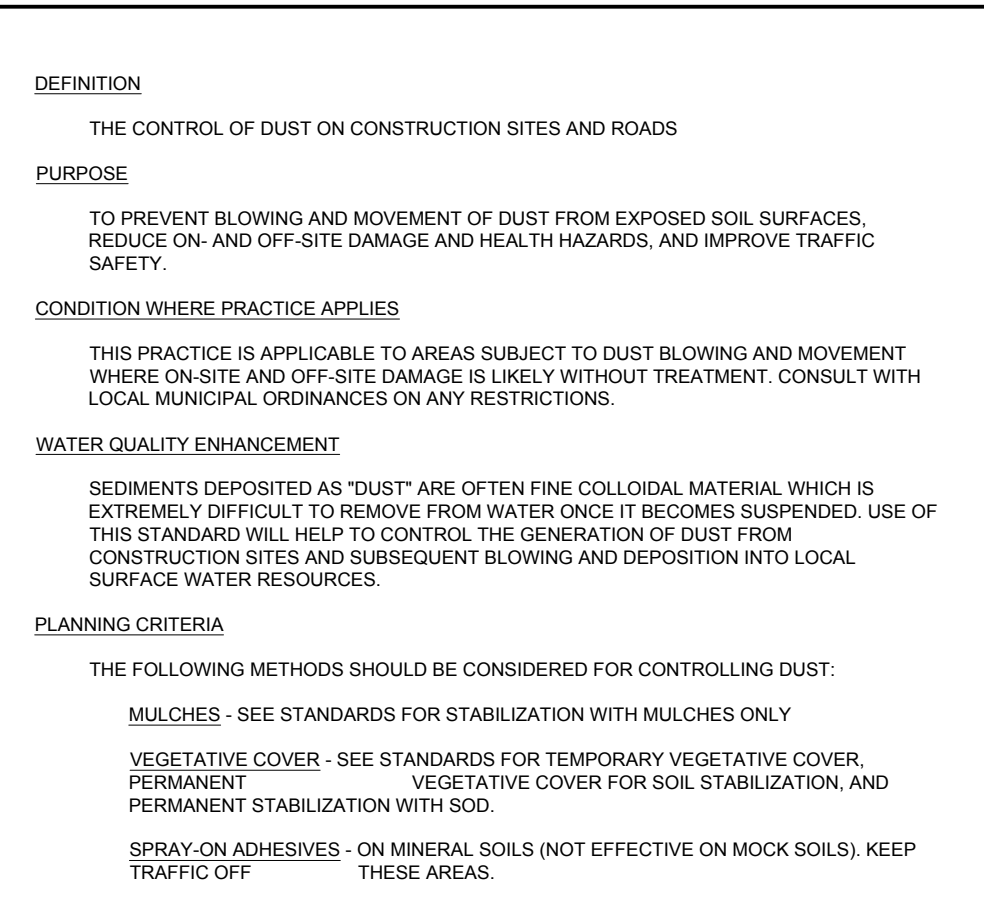
4 SILT FENCE DETAIL

NOT TO SCALE (0039902 - 1/2017)



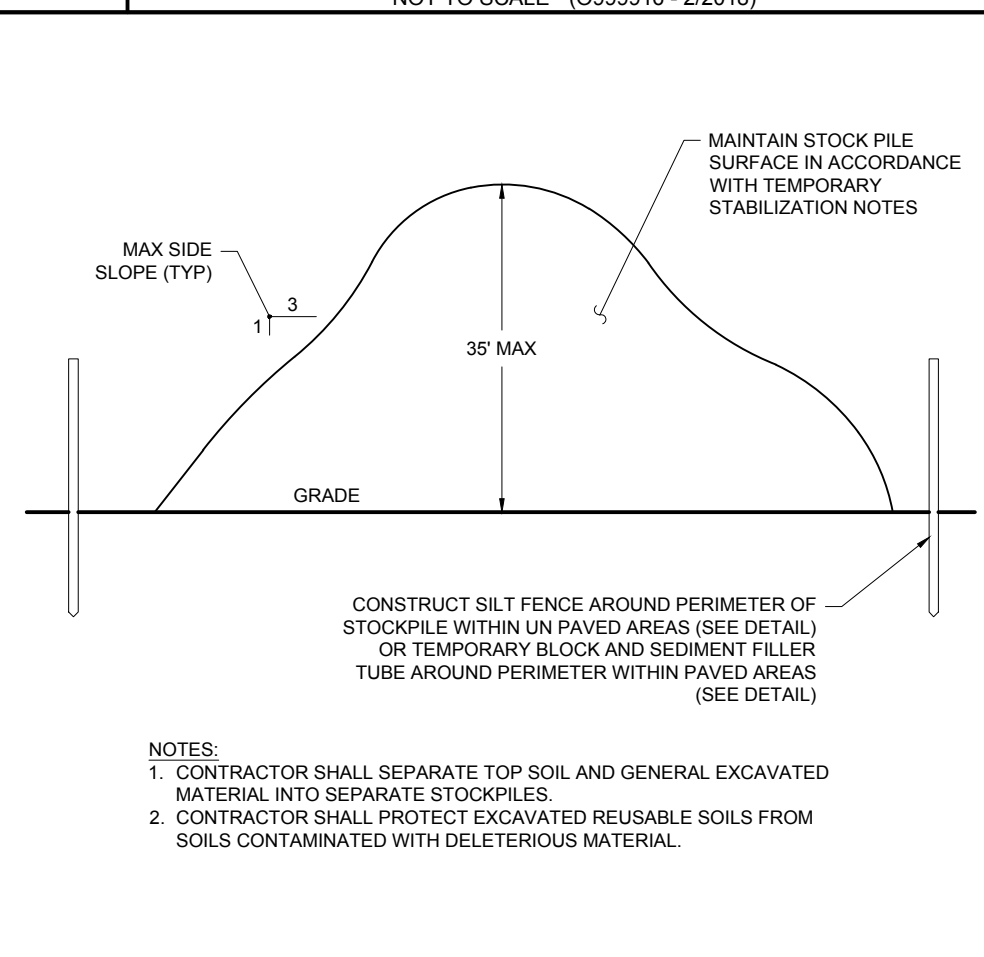
6 EROSION CONTROL BLANKET DETAIL

NOT TO SCALE (0099918 - 4/2017)



3 NJSCD STANDARD FOR DUST CONTROL

NOT TO SCALE (0999916 - 2/2018)



5 TEMPORARY SOIL STOCKPILE DETAIL

NOT TO SCALE (0079901 - 1/2017)



SOMERSET - UNION COUNTY SCD NOTES:

(0009915 - 05/15/15)

- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS.
- PERMANENT VEGETATION SHALL BE SEEDING OR SOILED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
- ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
- TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'X30'X6" PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- IN THAT NJSA 4:24-59 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RECERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
- MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.
- HYDRO SEEDING IS A TWO- STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY. GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDROMULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDROMULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.
- UNFILTERED DEWATERING IS NOT PERMITTED. NECESSARY PRECAUTIONS MUST BE TAKEN DURING ALL DEWATERING OPERATIONS TO MINIMIZE SOIL TRANSFER. ANY DEWATERING METHODS USED MUST BE IN ACCORDANCE WITH THE STANDARD FOR DEWATERING.

STABILIZATION SPECIFICATIONS TEMPORARY SEEDING AND MULCHING:

- LIME: 90 LBS/1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".
- SEEDS: COOL SEASON: PERENNIAL RYE GRASS 100 LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. WARM SEASON: PEARL MILLET AT 20 LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15.
- MULCH: SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

STABILIZATION SPECIFICATIONS - PERMANENT SEEDING:

(SITE SPECIFIC)

- SITE PREPARATION: GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE, A UNIFORM APPLICATION TO A DEPTH OF 4 INCHES (UNLESS OTHERWISE SPECIFIED) ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
- SEEDS: HARD FESCUE: 130 LBS/ACRE OR 3.0 LBS/1,000 S.F. PERENNIAL RYEGRASS: 10 LBS/ACRE OR 0.25 LBS/1,000 S.F. CHEWING FESCUE: 45 LBS/ACRE OR 1.1 LBS/1,000 S.F. STRONG CREEPING RED FESCUE: 45 LBS/ACRE OR 1.1 LBS/1,000 S.F.
- PERMANENT STABILIZATION SPECIFICATIONS: MULCHING: A. MULCH MATERIALS TO BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS/ACRE OR 70 TO 90 LBS/1,000 SQ. FT. B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERED. C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS: (1) PEG AND TWINE (2) MULCH NETTING (3) LIQUID MULCH-BINDERS D. FERTILIZER: 50 LBS/ACRE 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE, WORKED INTO THE SOIL A MINIMUM OF 4".

- MULCH STABILIZATION: A. UNROTTED SMALL GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS/ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS/1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING THE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. B. ASPHALT EMULSION IS RECOMMENDED AT THE RATE OF 600 TO 1,200 GALL/ACRE. THIS IS SUITABLE FOR A LIMITED PERIOD OF TIME WHERE TRAVEL BY PEOPLE, ANIMALS, OR MACHINES IS NOT A PROBLEM. C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER. D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS/ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER. E. MULCH NETTING SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED. F. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS: (1) PEG AND TWINE (2) MULCH NETTING (3) LIQUID MULCH-BINDERS

MULCH STABILIZATION

- A. UNROTTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS/ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS/1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING THE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. B. ASPHALT EMULSION IS RECOMMENDED AT THE RATE OF 600 TO 1,200 GALL/ACRE. THIS IS SUITABLE FOR A LIMITED PERIOD OF TIME WHERE TRAVEL BY PEOPLE, ANIMALS, OR MACHINES IS NOT A PROBLEM. C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER. D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS/ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER. E. MULCH NETTING SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED. F. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS: (1) PEG AND TWINE (2) MULCH NETTING (3) LIQUID MULCH-BINDERS

SWPPP NOTES:

(3/2015)

CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

SEQUENCE OF CONSTRUCTION:

- PHASE 1: INSTALL SOIL EROSION SEDIMENT CONTROL MEASURES, INCLUDING DOWN SLOPE PERIMETER SILT FENCING. (2 DAYS)
- PHASE 2: CLEAR AND ROUGH GRADE FOR PROPOSED SITE LAYOUT. (5 WEEKS)
- PHASE 3: EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING, UNDERGROUND UTILITIES, ETC. (4 WEEKS)
- PHASE 4: FINAL GRADING ON SITE. (2 WEEKS)
- PHASE 5: INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING. (3 WEEKS)
- PHASE 6: REMOVE SOIL EROSION AND SEDIMENT CONTROL MEASURES. (3 DAYS)



REVISIONS			
REV	DATE	COMMENT	DRAWN BY

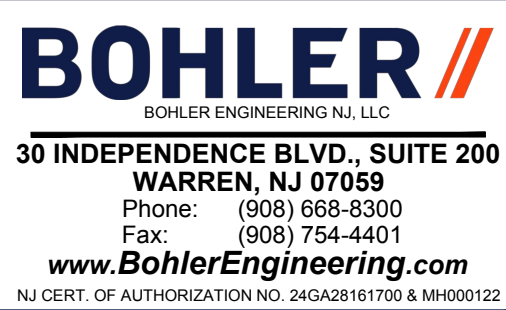


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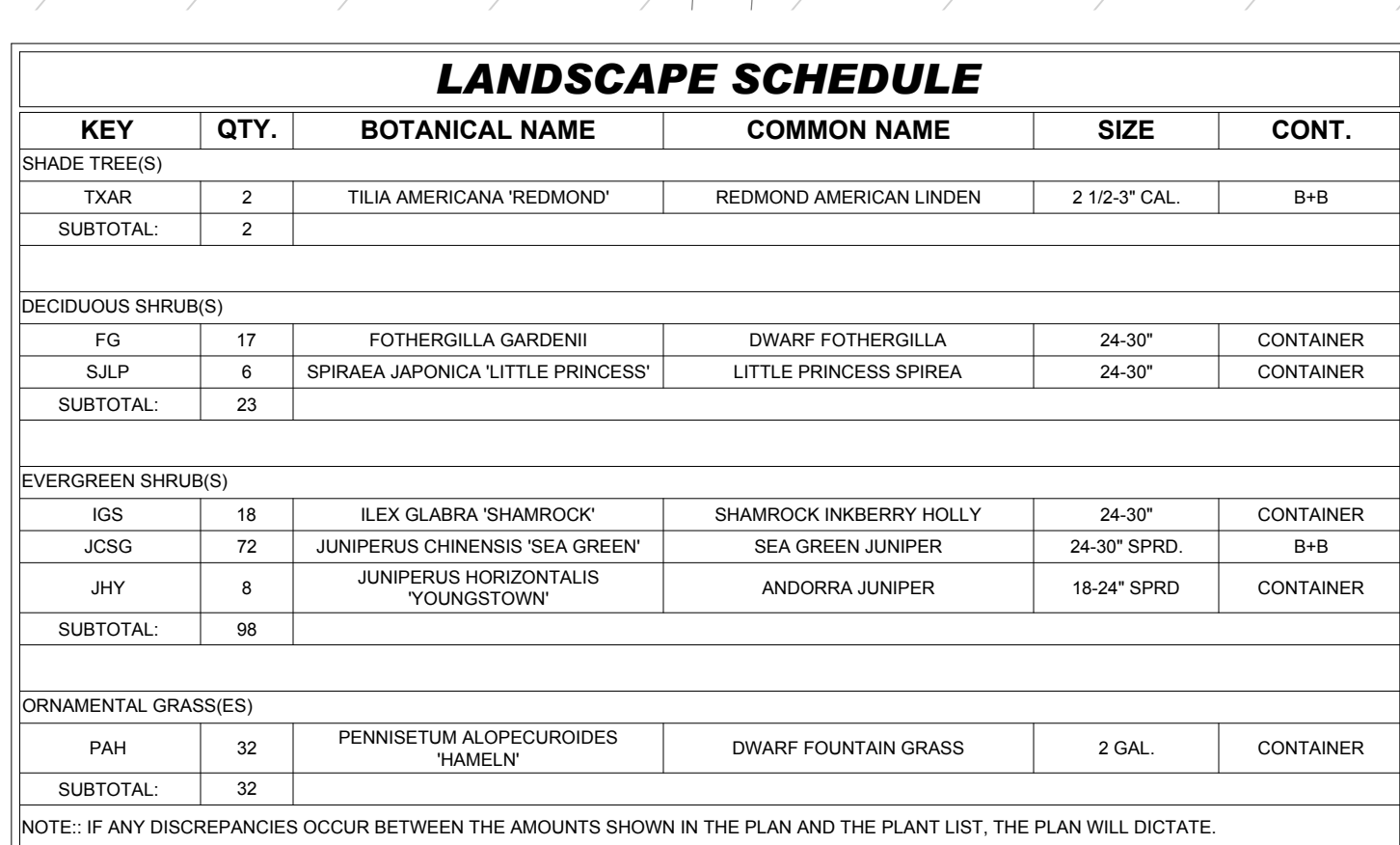
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PROJECT No.:	JS200709
DRAWN BY:	OU
CHECKED BY:	JWH
DATE:	07/20/2020
CAD ID:	JS200709-CDS-0C

PROJECT: **AMENDED PRELIMINARY & FINAL MAJOR SITE PLAN FOR LINDEN DEVELOPMENT, LLC**
PROPOSED FREDDY'S FROZEN CUSTARD & STEAKBURGERS WITH DRIVE-THRU
BLOCK 469; LOT 38.05
PLEASANT STREET AND EDGAR ROAD
(N.J.S.H. ROUTE 1 & 9)
CITY OF LINDEN
UNION COUNTY, NEW JERSEY



SHEET TITLE: **SOIL AND EROSION CONTROL NOTES & DETAILS**
SHEET NUMBER: **C-602**
ORG. DATE - 07/20/2020



(A.K.A US ROUTE 1 & 9)

CONTRACTOR TO PROVIDE AN IRRIGATION DESIGN FOR BOTH LAWN AND BED AREAS. DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR TO VERIFY STATIC PRESSURE PRIOR TO DESIGN. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRESSURE REDUCING DEVICES REQUIRED TO MEET MAXIMUM PRESSURE REQUIREMENT. SYSTEM DESIGN IS TO SHOW ALL VALVE, PIPELINE, AND SCHEDULE 40 FLANGE CONNECTION, METERS AND CONTROLLERS. ALL SLEEVES IN PAVEMENT AREAS MUST BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFLOW PREVENTION DEVICE INSTALLATION AND PERMITTING.

1. THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
2. ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH THE LANDSCAPE SPECIFICATION #2.C., UNLESS OTHERWISE STATED ON THIS PLAN.
3. ALL PROPOSED LANDSCAPE AREAS ARE TO BE TREATED WITH A 2" THICK LAYER OF 2-3" GREY RIVER STONE OVER WATER PERMEABLE WEED BARRIER FABRIC, UNLESS OTHERWISE STATED ON THIS PLAN.
4. SHRUBS PLANTED ALONG HEDGE PARKING STALLS ARE TO BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ROW FOR BUMPER OVERHANGING.
5. PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER ENGINEERING AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
6. AT THE TIME OF PARKING LOT CONSTRUCTION AND PLANT ISLAND INSTALLATION, ALL PLANTER ISLANDS ARE TO BE EXCAVATED TO THE FULL WIDTH OF THE PARKING PLANTER ISLAND AND THROUGHOUT THE FULL DEPTH OF COMPACTED SUBGRADE TO REMOVE ALL COMPACTED MATERIAL, OR OTHER MATERIAL HARMFUL TO PLANT HEALTH, AND BACKFILL WITH CLEAN FILL.

UPON OWNERS' (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPRKEEP, WATERING, AND TRIMMING OF ALL PLANTS, TREES, SHRUBS, AND ORNAMENTAL PLANTS, INCLUDING BUT NOT LIMITED TO TREES AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND PLANTINGS, AND THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO SUCH THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL PEDESTRIAN TRAFFIC AND OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITH VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. FROM ALL PAVED, TRAVELED SURFACES, OR AS OTHERWISE SPECIFIED.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVELED SURFACES) AND ALONG WITH THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- ALL TREES AND PLANTS MUST BE MAINTAINED TO SUCH THAT THEY DO NOT ADJACENT TO VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR PROVIDES.

SECTION	REQUIREMENT	CALCULATIONS	COMPLIANCE
	A. ALL OPEN AREAS NOT UTILIZED FOR PARKING AREAS, DRIVEWAYS, STREETS OR ROADS. RECREATIONAL FACILITIES, PATIOS OR TERRACES SHALL BE PROVIDED WITH LAWNS OR OTHER SUITABLE GROWING COVER, TREES AND SHRUBS.	ALL OPEN AREAS NOT UTILIZED FOR PARKING AREAS, DRIVEWAYS, STREETS OR ROADS HAVE BEEN PROVIDED WITH LAWN AND LANDSCAPING.	COMPLIES
	B. CONTINUOUS EVERGREEN SCREENING MAY BE REQUIRED ALONG THE TRACT BOUNDARY LINE SUCH SCREENING TO BE NO LESS THAN THREE (3) FEET HIGH WHEN PLANTED. IN ADDITION, THE PLANNING OR ZONING BOARD OF ADJUSTMENT MAY, IF CONDITIONS WARRANT, REQUIRE SUPPLEMENTAL SCREENING BY A SOLID FENCE UP TO SIX (6) FEET IN HEIGHT.	EXISTING EVERGREEN SCREENING WILL REMAIN ALONG US ROUTE 1 & 9 (EDGAR ROAD).	COMPLIES
	C. SHADE TREES SHALL BE PROVIDED ALONG WALKS, DRIVEWAYS, PARKING AREAS, STREETS AND ROADS. SCREENING OR BUFFERS, CONSISTING OF BERMS, FENCING AND/OR LANDSCAPING MAY BE REQUIRED AROUND RECREATION, PARKING, UTILITY AND REFUSE DISPOSAL AREAS AND AROUND OTHER SIMILAR AREAS AT THE DISCRETION OF THE PLANNING BOARD.	EXISTING SHADE TREES ON SITE ARE TO REMAIN.	COMPLIES
	D. ALL LANDSCAPING SHALL BE MAINTAINED IN GOOD CONDITION AND SHALL BE REPLACED WHERE NECESSARY. WHERE YARDS, PATIOS AND GARDENS IN MULTIFAMILY DEVELOPMENTS ARE SHELDED WITH MASONRY WALLS, SUCH WALLS SHALL CONFORM ARCHITECTURALLY TO AND BE OF SIMILAR MATERIALS AS THE PRINCIPAL BUILDINGS IN THE DEVELOPMENT.	ALL PROPOSED AND EXISTING LANDSCAPING WILL BE MAINTAINED IN GOOD CONDITION AND REPLACED WHERE NECESSARY. REFER TO OWNER MAINTENANCE NOTE ON THIS PLAN.	COMPLIES
CHAPTER XXXI LAND DEVELOPMENT.	E. NOT LESS THAN TEN (10%) PERCENT OF THE AREA OF EACH PARKING AREA IN EXCESS OF TWENTY THOUSAND (20,000) SQUARE FEET SHALL BE SUITABLY LANDSCAPED TO MINIMIZE NOISE, GLARE AND OTHER NUISANCE CHARACTERISTICS AS WELL AS TO ENHANCE THE AESTHETIC ENVIRONMENT AND ECOLOGY OF THE SITE AND SURROUNDING AREA.	PROPOSED PARKING AREA: 17,797 SF	NOT APPLICABLE
SECTION 29-11, DESIGN STANDARDS	F. OFF-STREET PARKING AREAS SHALL BE EFFECTIVELY SCREENED BY A BERM, FENCE OR WALL NOT LESS THAN TWO (2) TO THREE (3) FEET IN HEIGHT, MAINTAINED IN GOOD CONDITION, OR SCREENING HEDGE OR OTHER NATURAL LANDSCAPING, THE SCREENING AS REQUIRED BY THIS SECTION MAY BE WAIVED BY THE BOARD IF, IN ITS JUDGMENT, BECAUSE OF TOPOGRAPHIC OR OTHER UNUSUAL CONDITIONS, SUCH SCREENING IS NOT NECESSARY TO PROTECT ADJOINING PROPERTY.	OFF-STREET PARKING AREA HAS BEEN SCREENED FROM US ROUTE 1 & 9 BY AN EXISTING EVERGREEN HEDGE.	COMPLIES
§29-11.9 LANDSCAPING AND SCREENING.	G. PARKING LOTS IN EXCESS OF TWENTY THOUSAND (20,000) SQUARE FEET SHALL BE PLANTED WITH TREES AT A RATE OF ONE (1) TREE PER TWELVE (12) SPACES. PARKING SHALL BE PLANTED MORE THAN TWENTY (20) SPACES WITHOUT A TREE ISLAND BREAK.	PROPOSED PARKING AREA: 17,797 SF	NOT APPLICABLE
	K. LANDSCAPE BUFFERS FACING ROUTE 1/9 SHALL MEET THE FOLLOWING GUIDELINES: 1. A FIFTEEN (15) TO TWENTY (20) FOOT LANDSCAPE BUFFER SHALL BE REQUIRED ALONG THE RIGHT-OF-WAY AND SHALL INCLUDE CANOPY TREES AND GROUND COVER. OPTIONAL UNDERSTORY AND SHRUBS ARE ALLOWED WITHIN THE BUFFER AND MUST FOLLOW THE STANDARDS PROVIDED HEREIN.	EXISTING LANDSCAPE BUFFER ALONG US ROUTE 1 & 9 IS TO REMAIN.	COMPLIES
	K. 4. PERMITTED FEATURES WITHIN FRONT BUFFERS: SIDEWALKS, SIGNS, LOW WALL AND WROUGHT IRON PICKET FENCES, ADDITIONAL FEATURES SUCH AS A KNEE WALLS AND DECORATIVE WROUGHT IRON PICKET FENCING ARE PERMISSIBLE WITH THE FOLLOWING STANDARDS: (A) FRONTAGE WALL: UP TO ONE-THIRD (1/3) OF THE REQUIRED PERCENTAGE MAY CONSIST OF FRONTAGE WALLS. THE FRONTAGE WALL SHALL BE A MINIMUM HEIGHT OF EIGHTEEN (18) INCHES WITH A MAXIMUM HEIGHT OF TWENTY (24) INCHES AND A MINIMUM WIDTH OF TWELVE (12) INCHES. THE WALL SHALL BE CONSTRUCTED OF STONE, BRICK OR STUCCO. THE MATERIAL SHALL COMPLEMENT THE PRIMARY BUILDING'S ARCHITECTURE. (B) 1. A MINIMUM 15-FOOT WIDE LANDSCAPED BUFFER SHALL BE ESTABLISHED ALONG THE COMMON LOT LINE OF ANY ADJOINING RESIDENTIAL ZONE.	EXISTING LANDSCAPE WALL WITH LANDSCAPE PLANTINGS IS TO REMAIN ALONG US ROUTE 1 & 9.	COMPLIES
	(B) 2. BUFFERS SHALL BE LANDSCAPED WITH DECIDUOUS AND CONIFEROUS PLANTINGS TO PROVIDE A YEAR-ROUND VISUAL SCREEN. (C) 1. THE MAIN ENTRANCE ROAD SHOULD INCLUDE STREET TREES ON EACH SIDE OF THE ROADWAY, AND SUCH TREES SHOULD BE OF A DIFFERENT SPECIES THAN TREES PLANTED IN PARKING AREAS. (C) 2. SPACING BETWEEN TREES SHOULD BE A MAXIMUM 50 FEET UNLESS ANOTHER VERTICAL ELEMENT, SUCH AS A DECORATIVE LIGHT POLE, PEER ELEVATION, OR SIGNS USED BETWEEN THE TREES. (D) 1. STREET TREES AND OTHER PLANT MATERIAL SHOULD BE PROVIDED IN LANDSCAPED ISLANDS AT THE ENDS OF PARKING ROWS IN EXCESS OF 25 SPACES. (D) 2. LANDSCAPED ISLANDS SHOULD BE AT LEAST FIVE (5) FEET IN WIDTH. (E) 1. ANY GROUND LEVEL UTILITY CABINETS SHOULD BE FENCED OR LANDSCAPED, OR BOTH. (E) 2. OUTDOOR TRASH AND RECYCLING BINS, SHEDS, AND STORAGE AREAS SHOULD BE LOCATED A MINIMUM OF 30 FEET FROM ANY STREET OR PROPERTY LINE AND 10 FEET FROM ANY INTERNAL PROPERTY LINE, AND SHALL BE APPROPRIATELY SCREENED AND/OR LANDSCAPED.	NO COMMON LOT LINE ALONG ANY ADJOINING RESIDENTIAL ZONE.	NOT APPLICABLE
CHAPTER XXXI ZONING.	(B) 2. BUFFERS SHALL BE LANDSCAPED WITH DECIDUOUS AND CONIFEROUS PLANTINGS TO PROVIDE A YEAR-ROUND VISUAL SCREEN.	-(SEE ABOVE SECTION 31-11.6 (A) 1.)-	NOT APPLICABLE
SECTION 31-11, PCD-PLANNED COMMERCIAL DEVELOPMENT DISTRICT.	(C) 1. THE MAIN ENTRANCE ROAD SHOULD INCLUDE STREET TREES ON EACH SIDE OF THE ROADWAY, AND SUCH TREES SHOULD BE OF A DIFFERENT SPECIES THAN TREES PLANTED IN PARKING AREAS. (C) 2. SPACING BETWEEN TREES SHOULD BE A MAXIMUM 50 FEET UNLESS ANOTHER VERTICAL ELEMENT, SUCH AS A DECORATIVE LIGHT POLE, PEER ELEVATION, OR SIGNS USED BETWEEN THE TREES. (D) 1. STREET TREES AND OTHER PLANT MATERIAL SHOULD BE PROVIDED IN LANDSCAPED ISLANDS AT THE ENDS OF PARKING ROWS IN EXCESS OF 25 SPACES. (D) 2. LANDSCAPED ISLANDS SHOULD BE AT LEAST FIVE (5) FEET IN WIDTH. (E) 1. ANY GROUND LEVEL UTILITY CABINETS SHOULD BE FENCED OR LANDSCAPED, OR BOTH. (E) 2. OUTDOOR TRASH AND RECYCLING BINS, SHEDS, AND STORAGE AREAS SHOULD BE LOCATED A MINIMUM OF 30 FEET FROM ANY STREET OR PROPERTY LINE AND 10 FEET FROM ANY INTERNAL PROPERTY LINE, AND SHALL BE APPROPRIATELY SCREENED AND/OR LANDSCAPED.	SHADE TREES HAVE BEEN PROPOSED ALONG MAIN ENTRANCE AT FORTY (40) FEET ON CENTER. SHADE TREES HAVE BEEN PROPOSED ALONG MAIN ENTRANCE AT FORTY (40) FEET ON CENTER.	COMPLIES
§31-11.9 LANDSCAPING AND SCREENING.	(D) 1. STREET TREES AND OTHER PLANT MATERIAL SHOULD BE PROVIDED IN LANDSCAPED ISLANDS AT THE ENDS OF PARKING ROWS IN EXCESS OF 25 SPACES. (D) 2. LANDSCAPED ISLANDS SHOULD BE AT LEAST FIVE (5) FEET IN WIDTH. (E) 1. ANY GROUND LEVEL UTILITY CABINETS SHOULD BE FENCED OR LANDSCAPED, OR BOTH. (E) 2. OUTDOOR TRASH AND RECYCLING BINS, SHEDS, AND STORAGE AREAS SHOULD BE LOCATED A MINIMUM OF 30 FEET FROM ANY STREET OR PROPERTY LINE AND 10 FEET FROM ANY INTERNAL PROPERTY LINE, AND SHALL BE APPROPRIATELY SCREENED AND/OR LANDSCAPED.	PROPOSED SHRUBS AND LAWN AREAS HAVE BEEN PROVIDED AT THE ENDS OF ALL PARKING ISLANDS.	COMPLIES
	(D) 2. LANDSCAPED ISLANDS SHOULD BE AT LEAST FIVE (5) FEET IN WIDTH. (E) 1. ANY GROUND LEVEL UTILITY CABINETS SHOULD BE FENCED OR LANDSCAPED, OR BOTH. (E) 2. OUTDOOR TRASH AND RECYCLING BINS, SHEDS, AND STORAGE AREAS SHOULD BE LOCATED A MINIMUM OF 30 FEET FROM ANY STREET OR PROPERTY LINE AND 10 FEET FROM ANY INTERNAL PROPERTY LINE, AND SHALL BE APPROPRIATELY SCREENED AND/OR LANDSCAPED.	PROPOSED LANDSCAPE ISLANDS ARE A MINIMUM WIDTH OF FIVE (5) FEET. PROPOSED GROUND LEVEL UTILITIES HAVE BEEN LANDSCAPED APPROPRIATELY.	COMPLIES
CHAPTER XXXI ZONING.	PLANTINGS OF EVERGREEN MATERIAL SHALL BE PROVIDED IN OFF-STREET PARKING AREAS OF MORE THAN FOUR (4) VEHICLES. IN LIEU OF SCREEN PLANTINGS, A SOLID OR WOVEN LATTICE, MASONRY WALL, OR WOODEN LOUVERE TYPE OR SLIT CEDAR FENCE WITH A MAXIMUM OF THREE-FOURTHS (3/4) INCH SPACING MAY BE PROVIDED NOT LESS THAN FOUR (4) FEET NOR MORE THAN SIX (6) FEET IN HEIGHT, MAINTAINED IN GOOD CONDITION AND WITHOUT ADVERTISING.	EVERGREEN AND DECIDUOUS PLANTINGS HAVE BEEN PROVIDED ALONG THE PERIMETER OF THE PROPOSED PARKING AREAS TO SCREEN THE VIEW OF PARKER CARS.	COMPLIES
SECTION 31-27, PARKING AND LOADING REQUIREMENTS.	§31-27.18 LANDSCAPING AND SCREENING REQUIREMENT		COMPLIES

[illegible]

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PROJECT No.:	JS200709-LND-00
DRAWN BY:	OU
CHECKED BY:	JWH
DATE:	07/20/2021
CAD I.D.:	JS200709-LND-00

**LINDEN
DEVELOPMENT,
LLC**

**PROPOSED FREDDY'S FROZEN
CUSTARD & STEAKBURGERS WITH
DRIVE-THRU**

**BLOCK 469; LOT 38.05
PLEASANT STREET AND EDGAR ROAD
(N.J.S.H. ROUTE 1 & 9)
CITY OF LINDEN
UNION COUNTY, NEW JERSEY**

BOHLER 
BOHLER ENGINEERING NJ, LLC

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WARREN, NJ 07059
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 NJ CERT. OF AUTHORIZATION NO. 24GA28161700 & MH000122

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 42951
CONNECTICUT LICENSE No. 2209
NEW YORK LICENSE No. 073745

SHEET TITLE:

SHEET NUMBER:

C-701

ORG. DATE - 07/20/2020

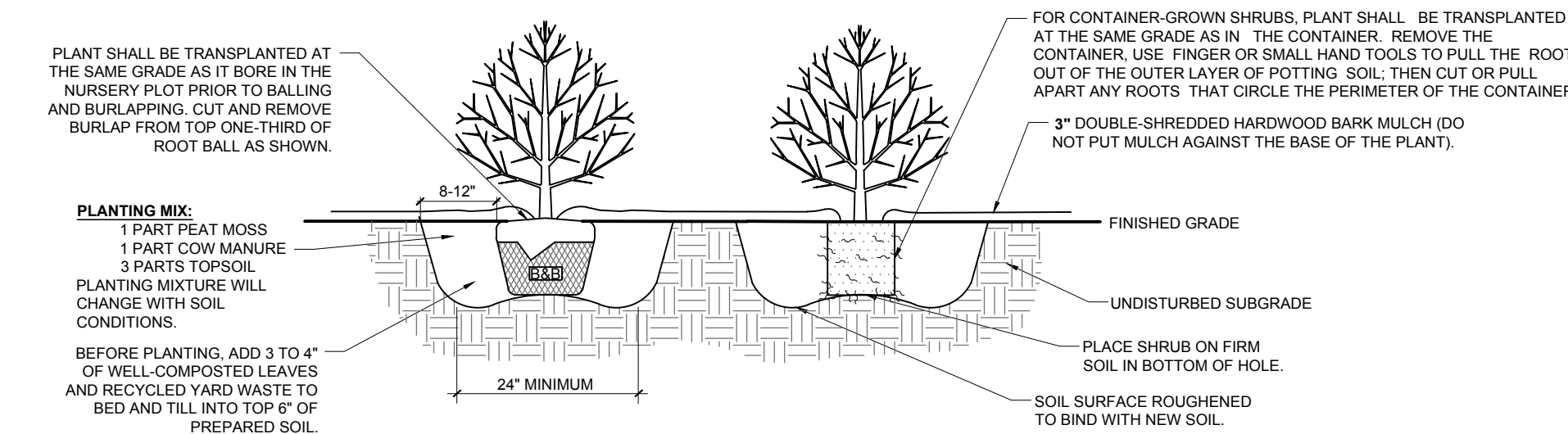
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- Diagram illustrating the correct method for planting a tree, showing the root ball, soil, mulch, and various precautions:
- AVOID PURCHASING TREES WITH TWO LEADERS OR REMOVE ONE AT PLANTING. OTHERWISE, DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS.
 - DO NOT STAKE OR WRAP TRUNK
 - TWICE THE WIDTH OF THE ROOT BALL
 - PREPARED SOIL FOR TREES 1 PART PEAT MOSS, 3 PARTS TOPSOIL
 - UNDISTURBED SUBGRADE
 - DIG WIDE, SHALLOW HOLE WITH TAMPED SIDES
 - TAMP SOIL SOLIDLY AROUND BASE OF ROOT BALL
 - SET ROOT BALL FLUSH TO GRADE OR SEVERAL INCHES HIGHER IN POORLY DRAINING SOILS.
 - 4" BUILT-UP EARTH SAUCER
 - 1" DOUBLE-SHREDED HARDWOOD BARK MULCH (DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK)
 - BEFORE PLANTING ADD 3 TO 4" OF WELL-COMPOSTED LEAVES OR RECYCLED YARD WASTE TO BED AND TILL INTO TOP 6" OF PREPARED SOIL.
 - 4-6" DEEPER THAN ROOT BALL
 - CUT BANDS OF WIRE BASKET AND FOLD AROUND TOP OF ROOT BALL
 - SET ROOT BALL ON FIRM PAD IN BOTTOM OF HOLE

SEEDING SPECIFICATIONS:
(L021101 - 06/2012)

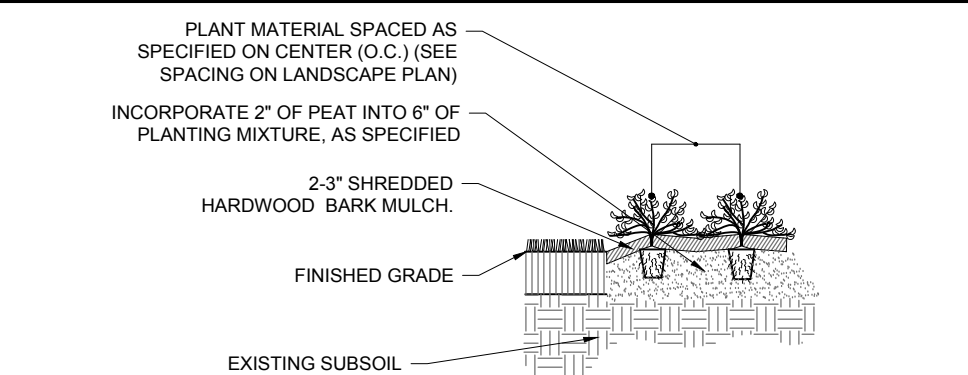
1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS
3. SEEDING RATES:

PERENNIAL REYGRASS KENTUCKY BLUEGRASS RED FESCUE SPREADING FESCUE FERTILIZER (20-10-10) MULCH	1/2 LB/1,000 SQ FT 1 LB/1,000 SQ FT 1 1/2 LB/1,000 SQ FT 1 1/2 LB/1,000 SQ FT 4 LB/1,000 SQ FT 90 LB/1,000 SQ FT
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4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDS UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

NOT TO SCALE (L101102-01/2013)



NOT TO SCALE (L101101-01/2013)



SCOPE OF WORK: THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL, PREPARATION, PERMANENT SEEDING OR SOODING, PLANTING AND MAINTENANCE INCLUDING LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS.

a. ALL LANDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE MOST CURRENT VERSION OF THE STATE DEPARTMENT OF TRANSPORTATIONS SPECIFICATIONS.

b. GENERAL: ALL MATERIALS TO BE SOIL HAVING AN ORGANIC CONTENT OF NOT LESS THAN 5% BY WEIGHT AND A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF ALL DEBRIS, ROCKS LARGER THAN ONE INCH (1") WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLUMPS.

c. LAWN: ALL DISTURBED AREAS ARE TO BE COVERED WITH A MINIMUM 5" THICK LAYER OF TOPSOIL AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHOD OF THE SOO WITHIN THE SEEDING PERIOD OF CONSTRUCTION. TOPSOIL SHALL BE APPLIED IN ACCORDANCE WITH THE FOLLOWING:

- a. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
- b. SOIL SHALL BE STRONGLY ROOTED, WEED AND DISEASE-FREE WITH A UNIFORM THICKNESS OF AT LEAST 1". SOIL INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE STABILIZED TO HOLD THE SOIL IN PLACE.

d. MULCH: ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE SPECIFIED OR DEPICTED ON THE LANDSCAPE PLAN.

e. FERTILIZER: FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF THE MANUFACTURER. FERTILIZER SHALL BE APPLIED TO THE SOIL IN SUCH A MANNER THAT IT CAN BE KEPT DRY PRIOR TO USE.

f. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE AS SPECIFIED OR, AS A MINIMUM, 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE PURCHASED OR APPLIED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY AND THE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER.

3. PLANT MATERIAL.

a. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERIES).

b. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ALL AND ALL PLANT MATERIAL.

c. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER BOTANICAL NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING FINAL INSPECTION.

d. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISCOLORATION OR FRESH CUTS OF LIMBS OVER 1/2" WHICH HAVE NOT BEEN COMPLETELY CALLEDUSH, SHALL BE REJECTED.

e. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL EXHIBIT NORMAL GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, GIXES OR LARVAE.

f. THE MEASUREMENTS OF TREES SHALL BE TAKEN AS FOLLOWS: FOR TREES UP TO 12" DBH, MEASURED AT 4.5 FEET ABOVE THE GROUND. FOR TREES GREATER THAN 12" DBH, MEASURED AT A POINT 12" ABOVE THE GROUND.

g. TREES AND SHRUBS SHALL BE MEASURED TO THE AVERAGE CALIPER OF THE SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.

h. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

4. GENERAL WORK PROCEDURES.

a. THE CONTRACTOR SHALL UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.

b. WHEN MATERIALS OR DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE, DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

5. SITE PREPARATION.

a. AFTER COMPLETION OF PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH THE EXISTING WORK PROCEDURES OUTLINED HEREIN.

b. ALL GENERAL TRENDS TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK.

c. ALL EXPOSED ROOTS SHALL BE KEPT SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR THE DURATION OF THE PROJECT AND WARRANTY PERIOD. ANY ADDITIONAL ROOTS OR BRANCHES THAT MAY BE EXPOSED DURING CONSTRUCTION, ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY.

d. THE CONTRACTOR SHALL MAINTAIN EXISTING TREES AS MUCH AS POSSIBLE TO PREVENT SHOCK OR DECLINE.

e. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF N.J.S.A. 48:27.4, et seq., THE UNDERGROUND UTILITY PROTECTION ACT. IN PARTICULAR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRP LINE AND SHALL BE HONORED.

f. A TREE PROTECTION ZONE SHALL BE ESTABLISHED WHERE THE DISTANCE IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A STRICTER TREE PROTECTION ZONE SHALL BE HONORED.

g. A PERMANENT INCH (48") HIGH WOODEN SNOU FENCE OR ORANGE COLORED HIGH-VIDEITY VIS-FENCE, OR APPROVED ALTERNATE, MOUNTED ON WOOD/STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION ZONE.

h. WHEN A TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.

6. SOIL MODIFICATIONS.

a. THE CONTRACTOR SHALL OBTAIN A SOIL TEST FOR ALL AREAS OF THE SITE AND MUST SUBMIT THE SAME TO THE LANDSCAPE ARCHITECT OR ENGINEER FOR APPROVAL. PRIOR TO ANY PLANTING, SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.

b. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS REQUIRED, SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER. IN WRITING, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.

c. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISD BASED ON THE RESULTS OF THE SOIL ANALYSIS AND APPROVED BY A CERTIFIED SOIL LABORATORY.

d. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATERIAL TO THE TOP 6-12" USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID USING A PINE STRAW MULCH.

e. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK UP TO 30% BY VOLUME) AND/OR AGRICULTURAL LIMESTONE TO THE SOIL. IF A SANDY SOIL IS USED, IT SHOULD BE AMENDED TO INCREASE THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.

f. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATERIAL AND/OR DRY, SHREDDED PLANT LOAM UP TO 30% OF THE TOTAL MIX.

7. DEMOLITION.

a. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.

b. WHEN A TREE OR SHRUB IS TO BE REMOVED, A PROPER SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").

c. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS. UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT OR ENGINEER.

d. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOILING.

a. THE CONTRACTOR SHALL PROVIDE A 5" THICK MINIMUM LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM MANNER. WHENEVER THE DESIRED COMPOSITION OF A TOPSOIL ANALYSIS IS NOT MET, THE CONTRACTOR SHALL BE REQUIRED TO RE-EVALUATE THE TOPSOIL.

b. ON-SITE TOPSOILING MAY, UPON THE PROVISION OF A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY AND THE SUBMISSION TO AND APPROVAL BY THE LANDSCAPE ARCHITECT OR ENGINEER, BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, OR IF THE TOPSOIL PROTECTED PRIOR TO CONSTRUCTION.

c. THE CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

d. ALL PLANTING AND LAWN AREAS ARE TO BE CULIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULIVATION SHALL BE DISPOSED OF OFF-SITE. TOPSOIL SHALL BE SPREAD IN ACCORDANCE WITH THE FOLLOWING PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUADRANTS BASED ON A 1,000 SQUARE FOOT AREA):

- a. 20 POUNDS GROW POWER OR APPROVED ALTERNATE
- b. IF POUNDS WITH FIRM (COURSE) 38-40 LB. CHIP

e. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

9. PLANTING.

a. PRIOR TO THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNPLANTED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED WITHIN A PERIOD OF SEVEN (7) DAYS SHALL BE REJECTED AND THE CONTRACTOR SHALL BE REQUIRED TO REPLACE THEM AT HIS OWN EXPENSE.

b. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

c. ALL ROOTS AND BRANCHES OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:

- a. PLANTS: MARCH 15 TO DECEMBER 15
- b. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO OCTOBER 1

10. PLANTING PROCEDURES.

a. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY, LANDSCAPE ARCHITECT AND/OR ENGINEER FOR POTENTIAL SUBSTITUTIONS.

b. FURTHERMORE, THE FOLLOWING TREE PLANTING AREAS ARE USUALLY SUSCEPTIBLE TO WINTER DAMAGE, WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABLE TO THE ROOTS. PLANTING OF THESE SPECIES IS NOT RECOMMENDED. THESE SPECIES SHOULD NOT BE PLANTED DURING THE FALL PLANTING SEASON.

COMMON NAME	SCIENTIFIC NAME
ACER RUBRUM	PLATANUS X ACERIFOLIA
BETULA VARIETIES	POPULUS VARIETIES
CARPINUS VARIETIES	PRUNUS VARIETIES
CRATAEGUS VARIETIES	PRUNUS VARIETIES
KOELERIA VARIETIES	QUERCUS VARIETIES
LIODENDRUM STYRACIFLUA	TILIA TOMENTOSA
LIODENDRUM TULIPIFERA	ZELKOVA VARIETIES

c. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN TIERED LAYERS WITH THE FINISHED PREPARED SOIL MIXED THOROUGHLY.

- a. 1 PART PEAT MOSS
- b. 1 PART COMPOSTED COY MANURE BY VOLUME
- c. 2 PARTS TOPSOIL BY VOLUME
- d. 3 PARTS AGRIFORM PLANTING TABLETS (OR APPROVED ALTERNATE) AS FOLLOWS:

- a. 2 TABLETS PER 1 GALLON PLANT
- b. 3 TABLETS PER 1 GALLON PLANT
- c. 4 TABLETS PER 1 GALLON PLANT
- d. 5 TABLETS PER 1 GALLON PLANT

d. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.

11. PLANTING PROCEDURES.</

[illegible]

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**ISSUED FOR MUNICIPAL &
AGENCY REVIEW & APPROVAL**

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	JS200709
DRAWN BY:	OU
CHECKED BY:	JWH
DATE:	07/20/2020
CAD I.D.:	JS200709-LND-0C

PROJECT:

**PROJECT: AMENDED
PRELIMINARY &
FINAL MAJOR SITE
PLAN**

**LINDEN
DEVELOPMENT,
LLC**

**PROPOSED FREDDY'S FROZEN
CUSTARD & STEAKBURGERS WITH
DRIVE-THRU**

**BLOCK 469; LOT 38.05
PLEASANT STREET AND EDGAR ROAD
(N.J.S.H. ROUTE 1 & 9)
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D.F. WISOTSKY

PROFESSIONAL ENGINEER

NEW JERSEY LICENSE No. 42951
CONNECTICUT LICENSE No. 22098
NEW YORK LICENSE No. 073745

SHEET TITLE

LANDSCAPE NOTES & DETAILS

SHEET NUMBER

C-702

ORG. DATE - 07/20/2020

IRRIGATION NOTE

CONTRACTOR TO PROVIDE AN IRRIGATION DESIGN FOR BOTH LAWN AND BED AREAS. DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR TO VERIFY STATIC PRESSURE PRIOR TO DESIGN. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRESSURE REDUCING DEVICES REQUIRED TO MEET MAXIMUM PRESSURE REQUIREMENT. SYSTEM DESIGN IS TO SHOW ALL VALVE, PIPELINE, AND SPRINKLER INSTALLATION, METERS AND CONTROLLERS. ALL SLEEVES IN PAVEMENT AREAS MUST BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFLOW PREVENTION DEVICE INSTALLATION AND PERMITTING.

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN TRAFFIC AREAS).
 - TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
 - VEGETATION SUCH AS TREES, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OR ALL PAVED, TRAVELED SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
 - FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPING ARE TO BE REMOVED IMMEDIATELY FROM ALL VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR OTHER HAZARDS.
- THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS

OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO TOPS WITH ANY INTERFERENCE WITH THE TYPICAL PAVED OR TRAVEL SURFACE. TRIMMING OF BRANCHES SHALL BE LIMITED TO ONE INCH ON ONE SIDE OF THE TRIMMING TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERS SPECIFIED ON THE PLANS.
- BRANCHES OF TREES AND OTHER SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED TO CLEARANCE HEIGHTS OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES) ALONG WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM WALKWAYS AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.





THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR

**THIS PLAN TO BE UTILIZED FOR
LANDSCAPE PURPOSES ONLY**

S:\2020\JS200709\DRAWINGS\CURRENT DRAWINGS\SITE PLAN PACKAGE\JS200709-LND-0C----->LAYOUT: C-702 LNTS



(A.K.A US ROUTE 1 & 9)

SYMBOL	QTY	LABEL	MTG. HT.	DESCRIPTION	ARRNGMNT.	LUMENS	LLF	COLOR TEMP.	IES FILENAME	CATALOG #
	2	A-1	28'	GE EVOLVE (EALP) SERIES LED AREA LIGHT (25 FT POLE ON 3 FT BASE)	SINGLE	25,000	0.900	5000K	EALP03_14AF750____.IES	EALP-03-XXX-J4-AF-7-50-N-D1-BLK-C-F
	2	A-2	28'	GE EVOLVE (EALP) SERIES LED AREA LIGHT (25 FT POLE ON 3 FT BASE)	BACK-TO-BACK	25,000 (X2)	0.900	5000K	EALP03_14AF750____.IES	EALP-03-XXX-J4-AF-7-50-N-D1-BLK-C-F
	1	W-1	8'	HUBBELL OUTDOOR LIGHTING LNC LITEPACK LED WALL PACK LIGHT	SINGLE	2,085	0.900	5000K	LNC-8LU-BK-4.IES	LNC-8L-XXX-BK-4-BLT
	9	W-2	15.2'	ACCENT LIGHTING W512 GOOSENECK SERIES LED WALL SCONCE	SINGLE	1,620	0.900	3000K	LED25W-3K-126084.IES	W512/243/E3A/43/LWT/MLED20W/3/120/277V FINISH: 43-RED

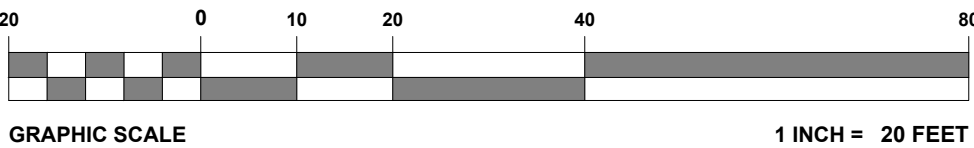
NOTES: 1. EXISTING AREA LIGHTS HAVE BEEN MODELED FOR THIS DESIGN AND HAVE BEEN LABELED AS 'EXIST'. ON THE PLAN, ALL EXISTING LIGHTS ARE ASSUMED TO BE IN GOOD WORKING CONDITION.
2. CONTRACTOR TO VERIFY EXISTING LIGHT ARE IN WORKING CONDITION AND NOTIFY PROJECT ENGINEER IF ANY FIXTURES NEED TO BE REPLACED.
3. ANY EXISTING STREET LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN.
4. PROPOSED FLAG POLE LIGHTS HAVE NOT BEEN MODELED FOR THIS DESIGN. REFER TO ARCHITECTURAL PLANS FOR ORDERING INFORMATION.

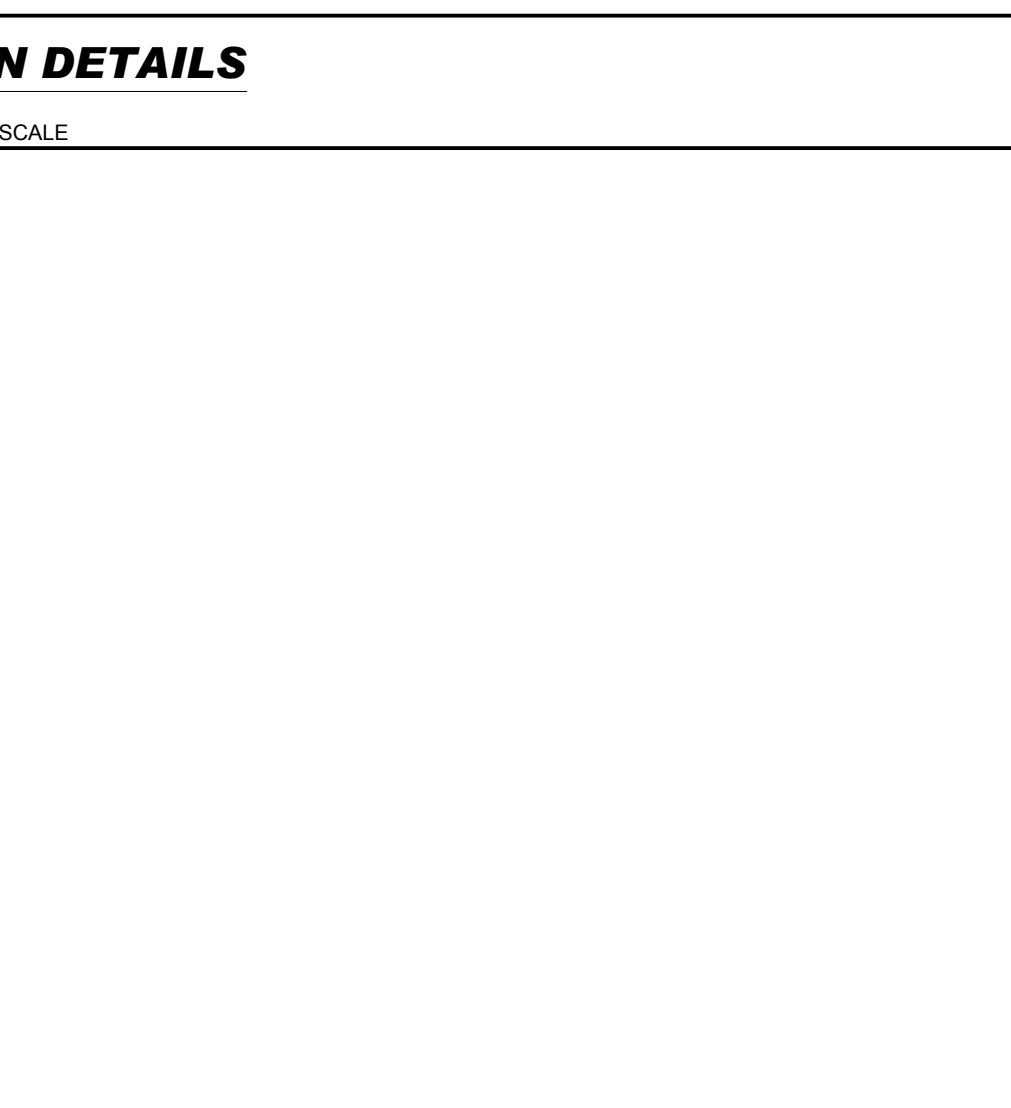
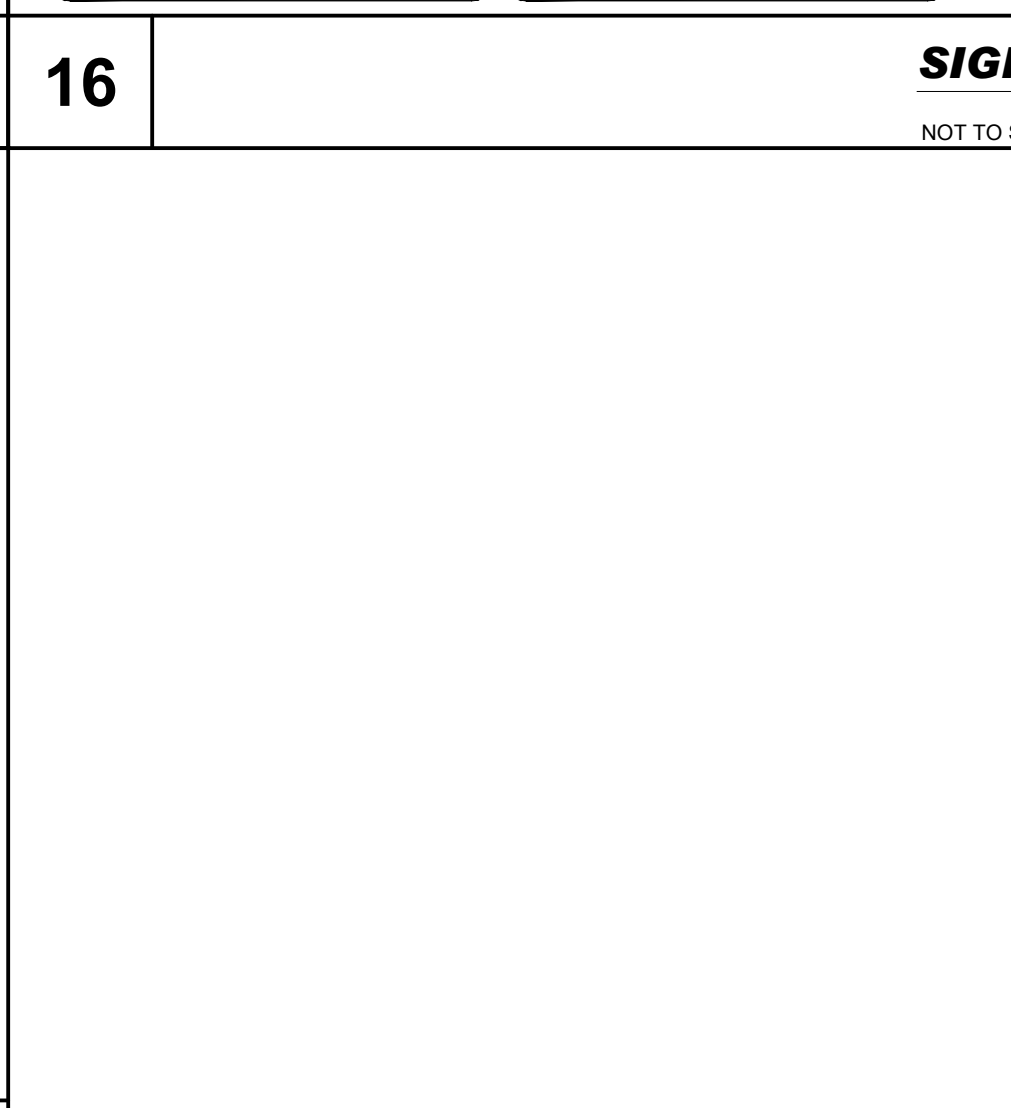
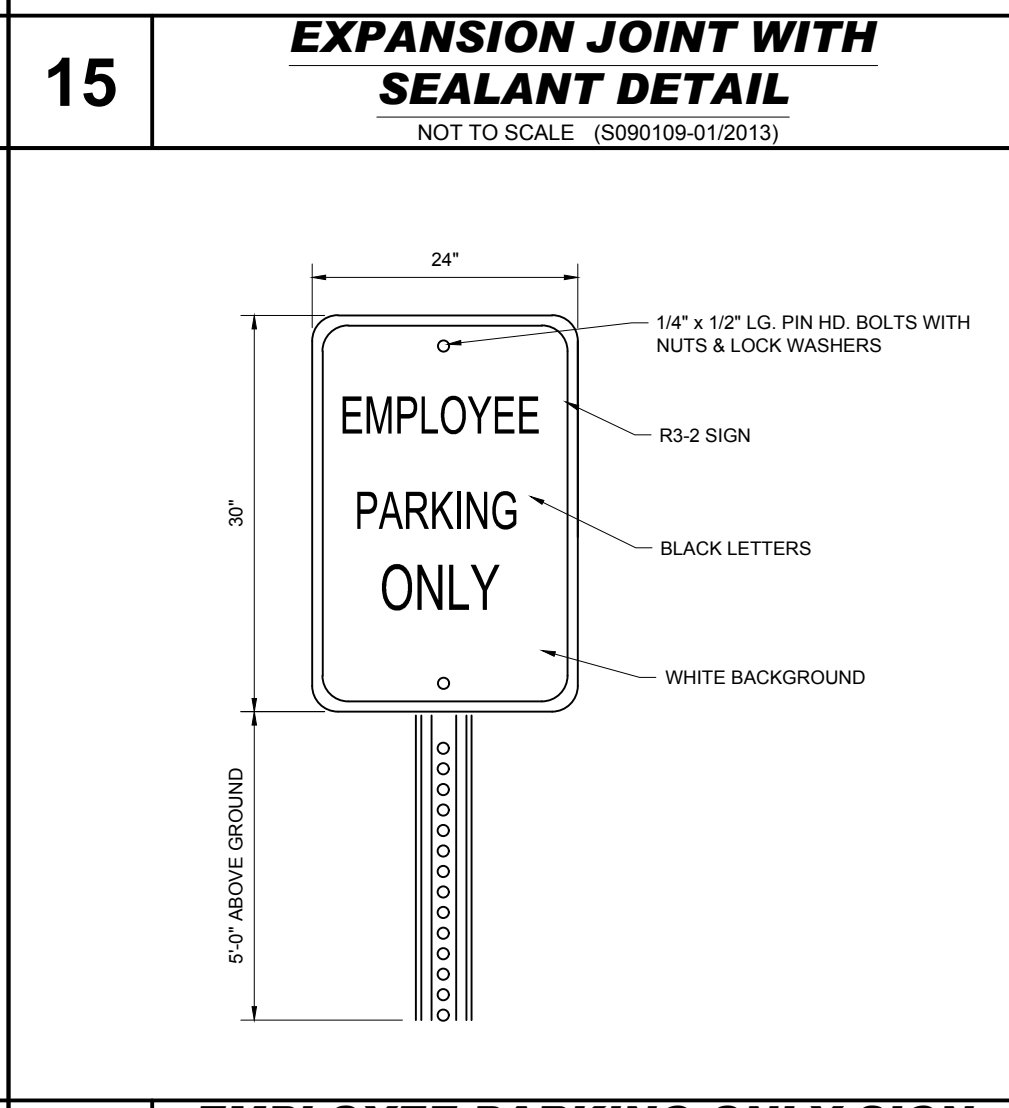
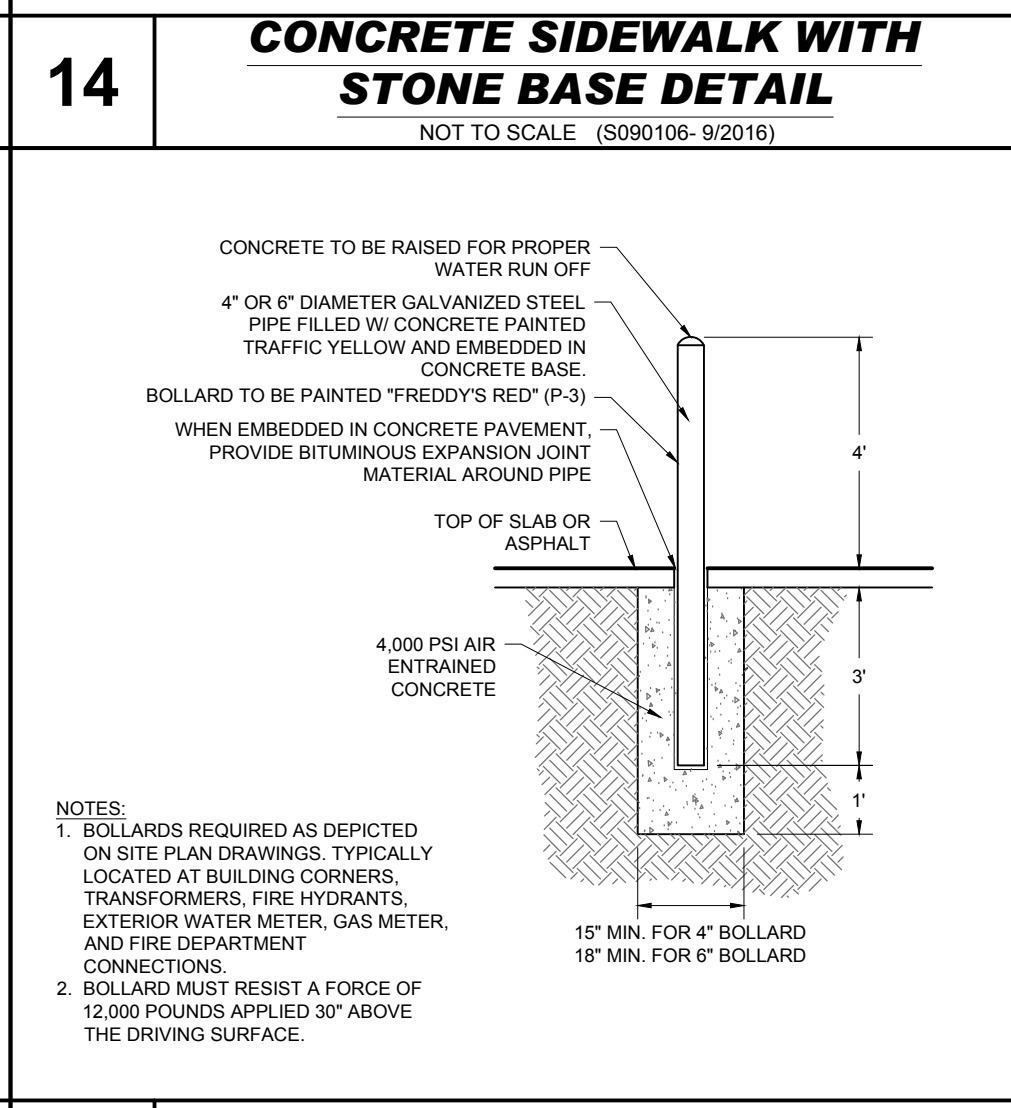
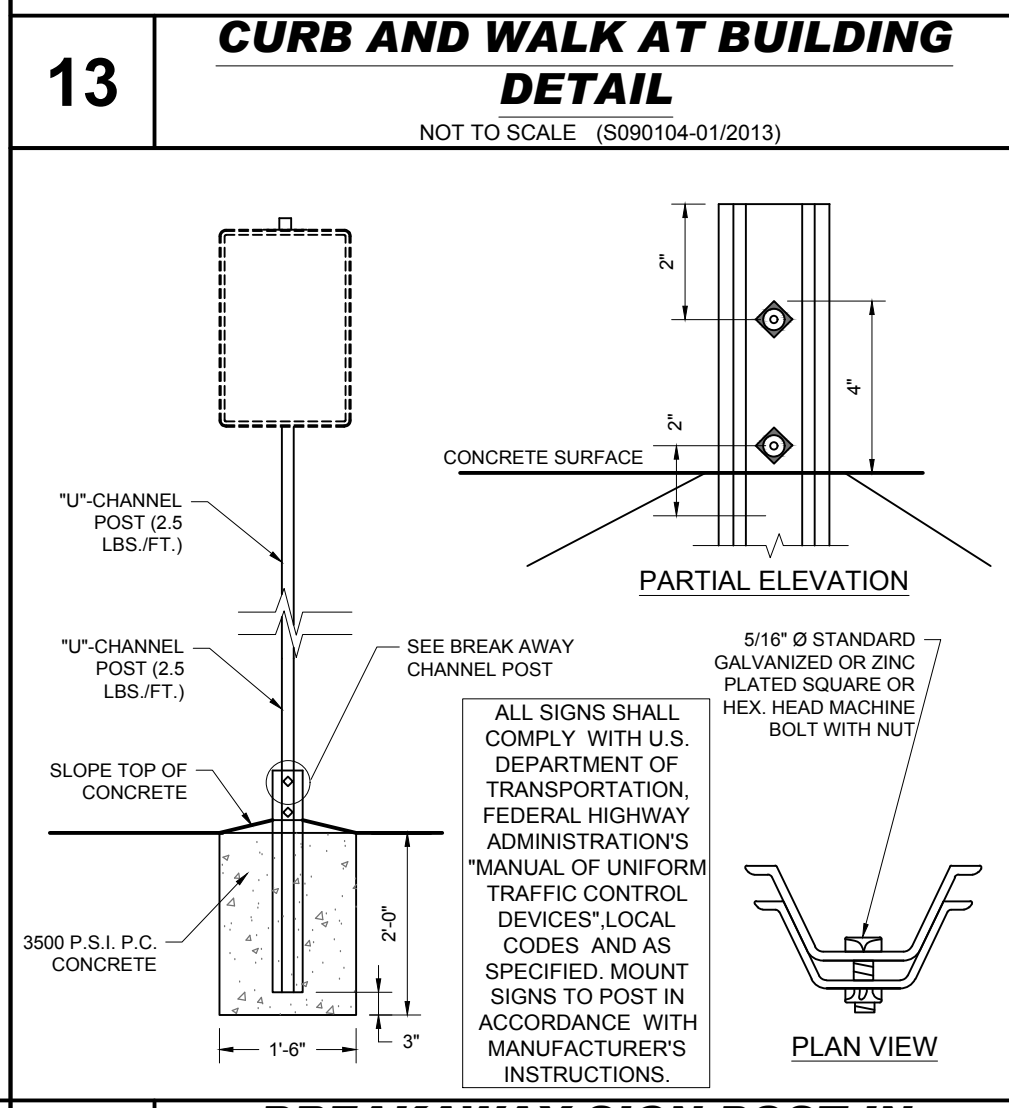
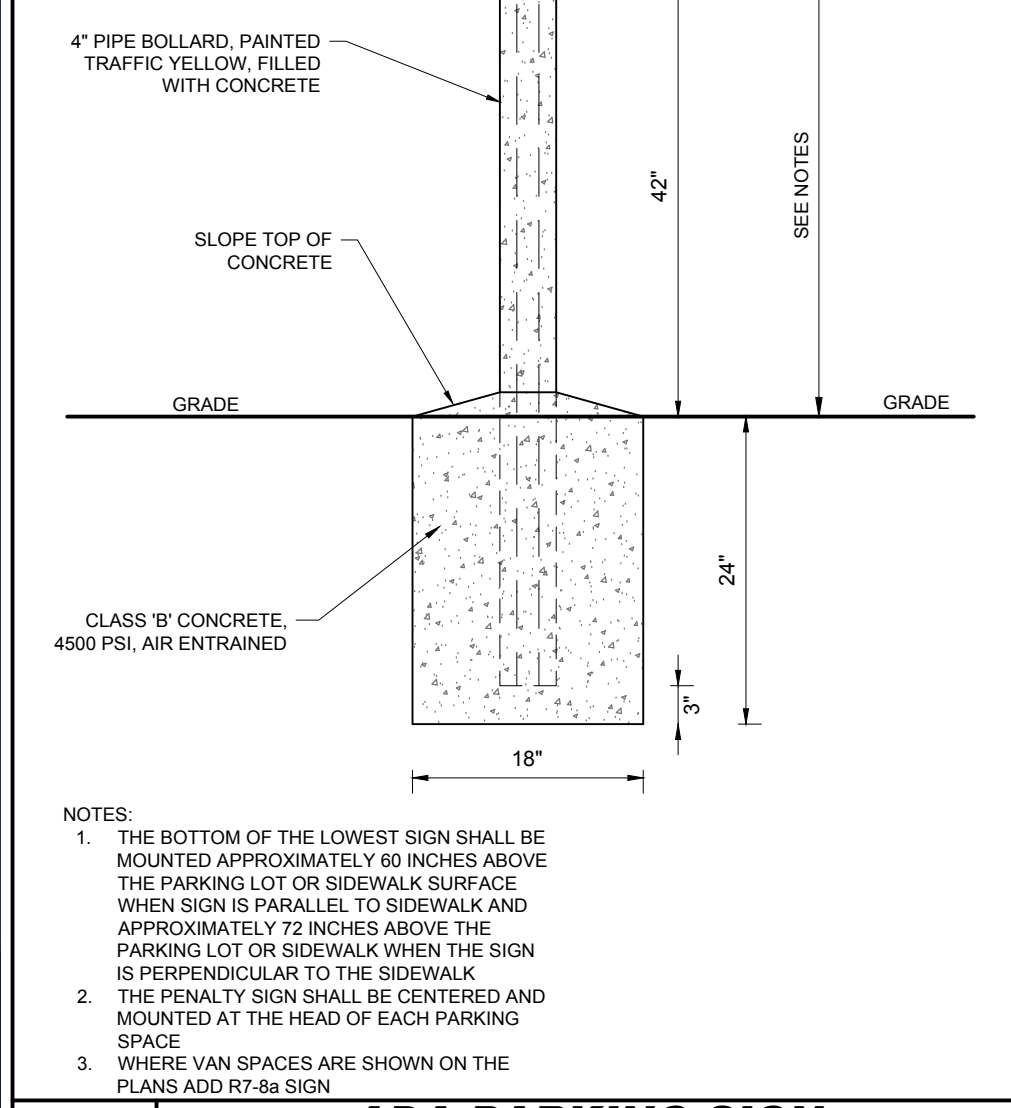
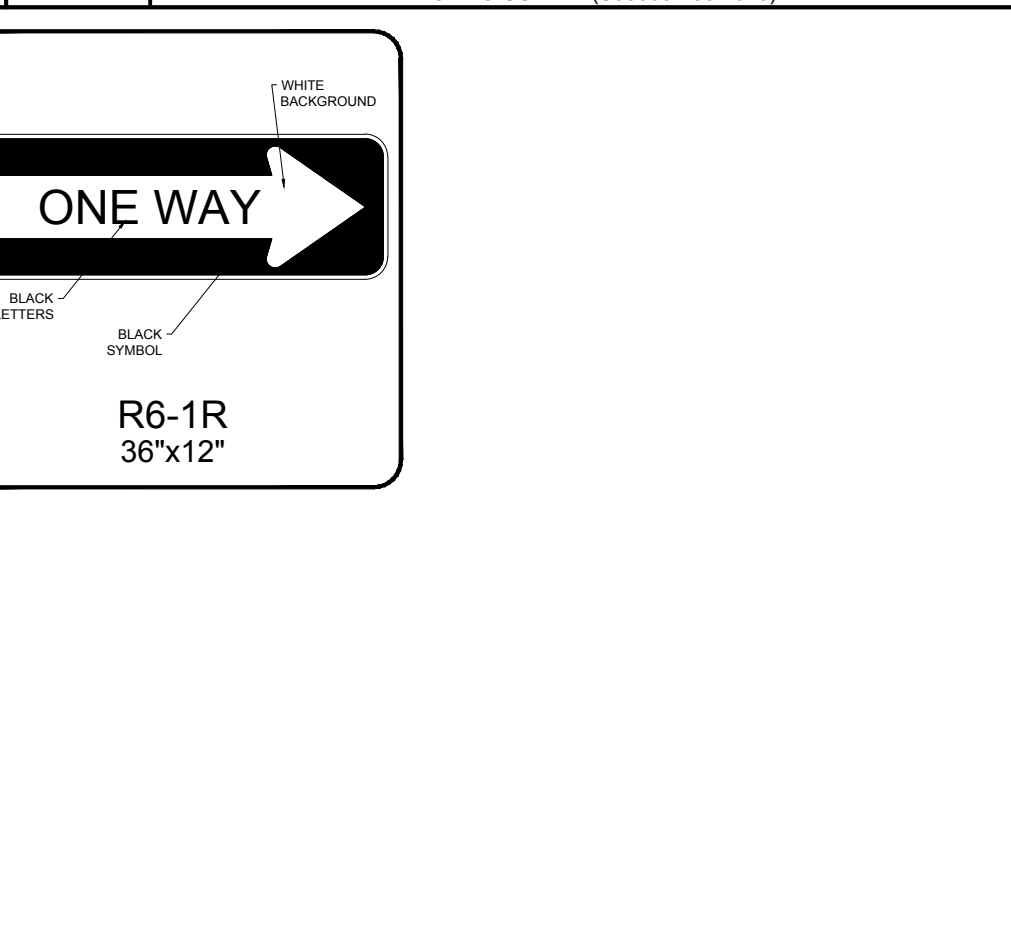
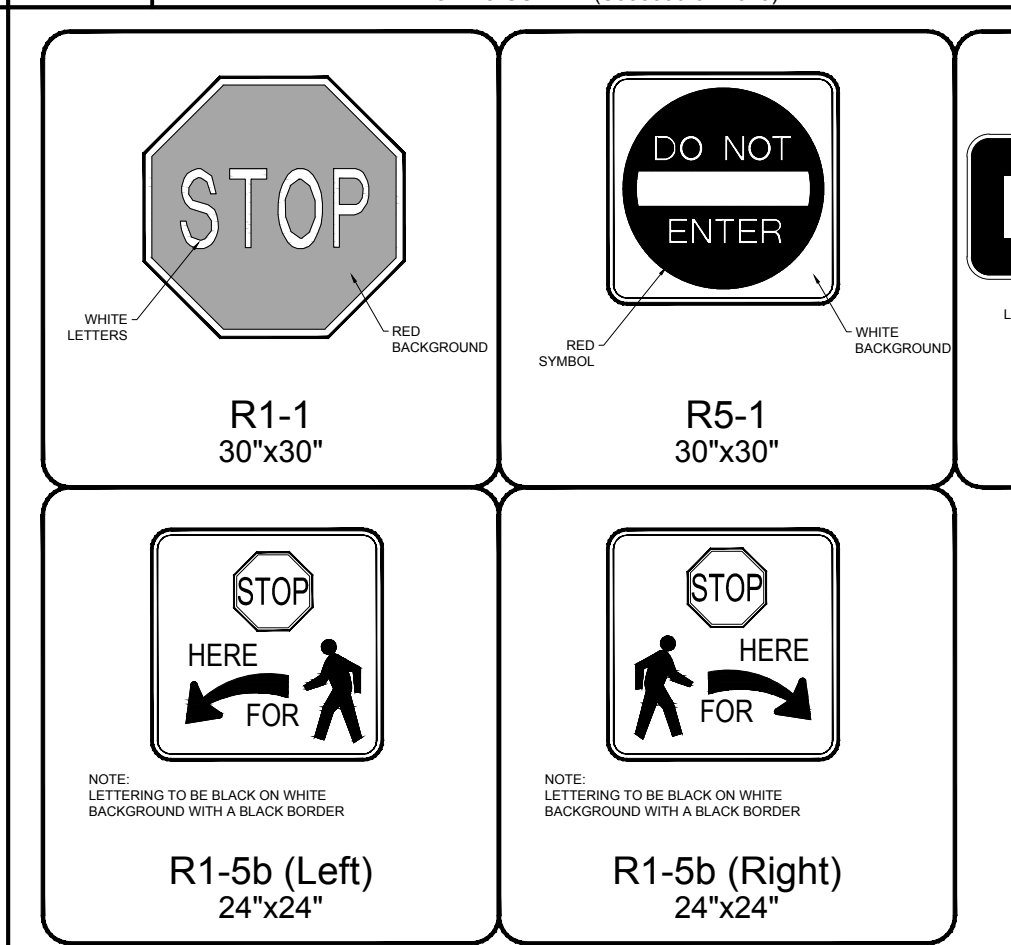
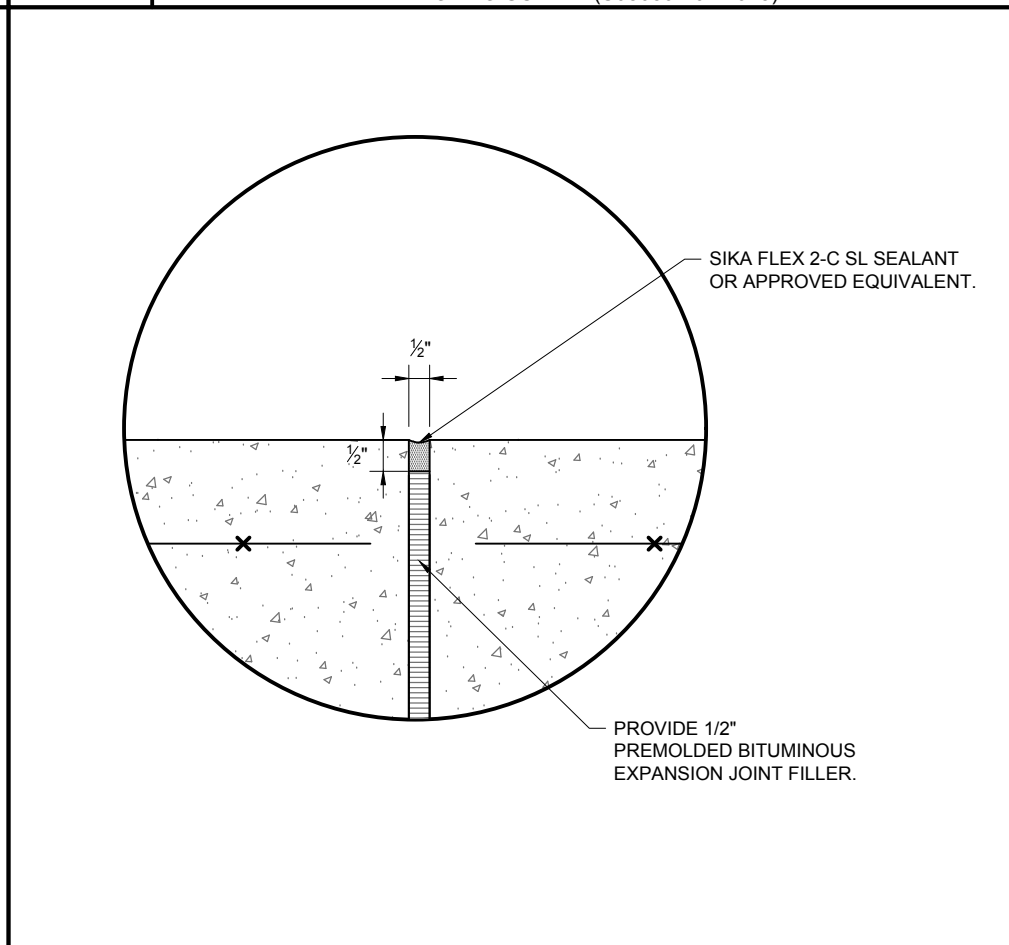
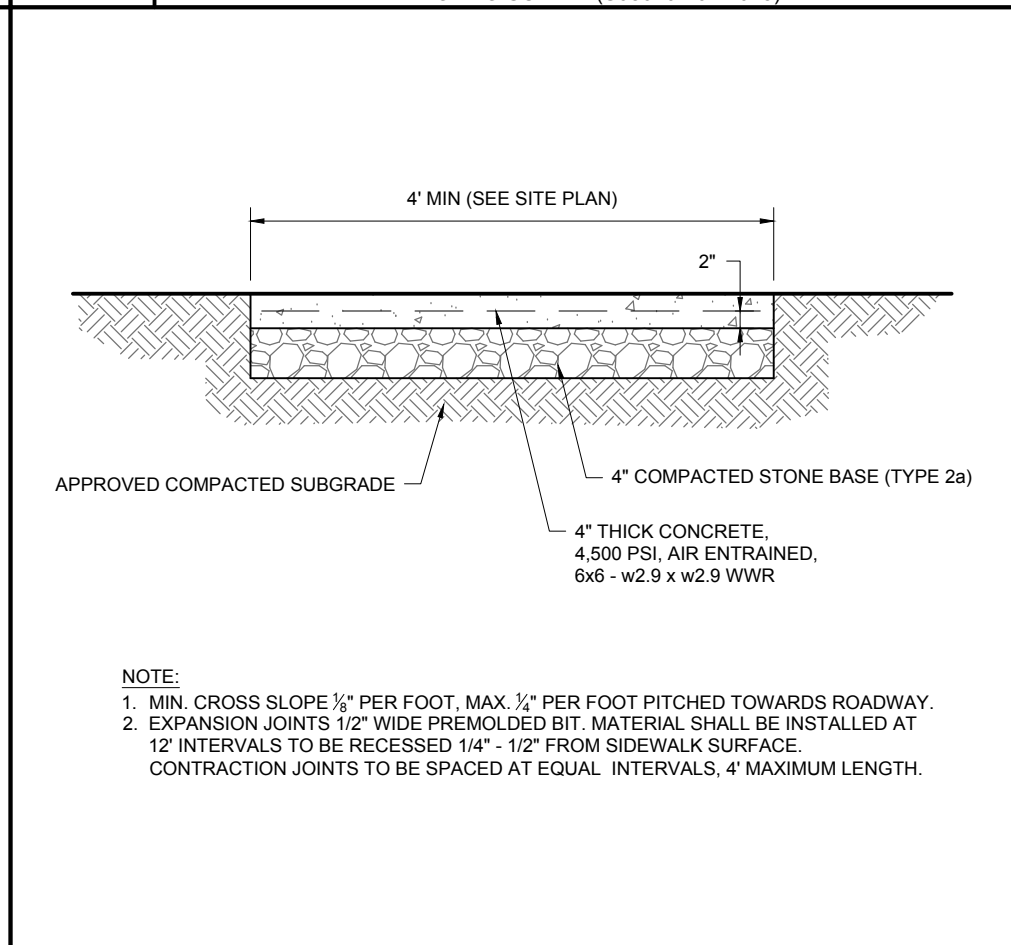
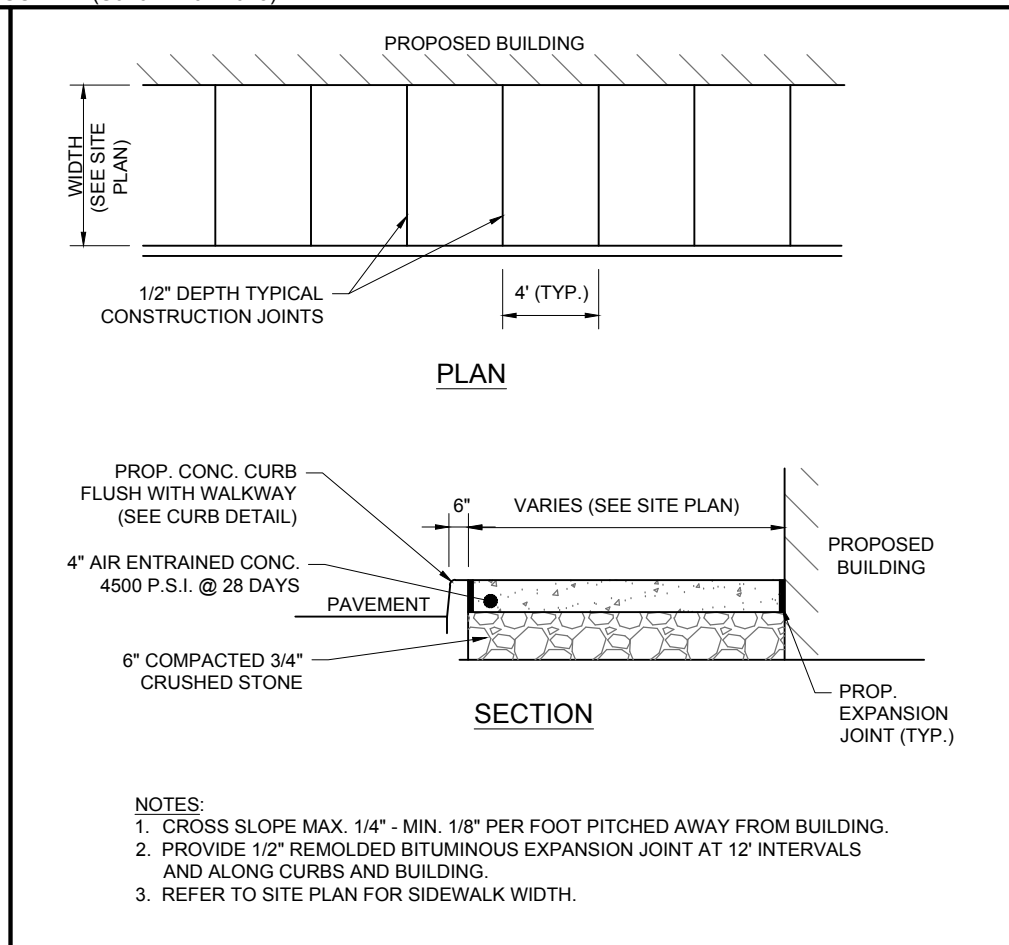
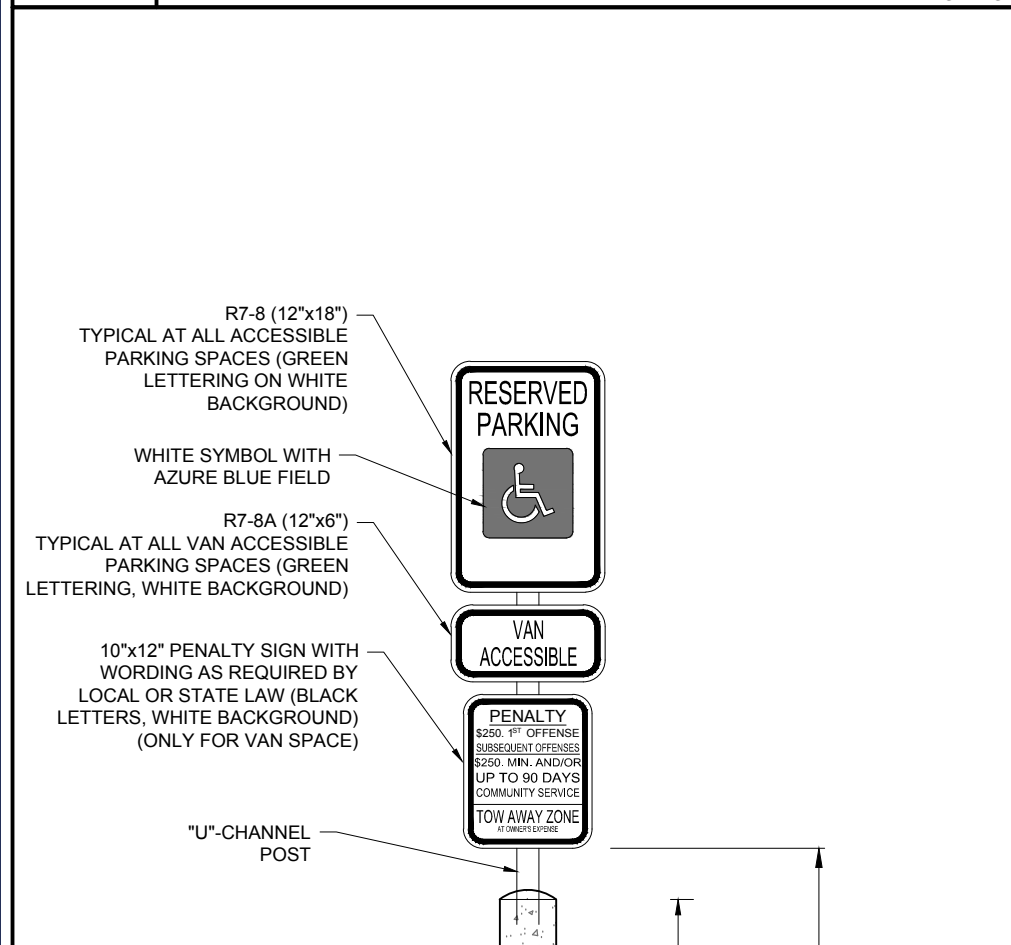
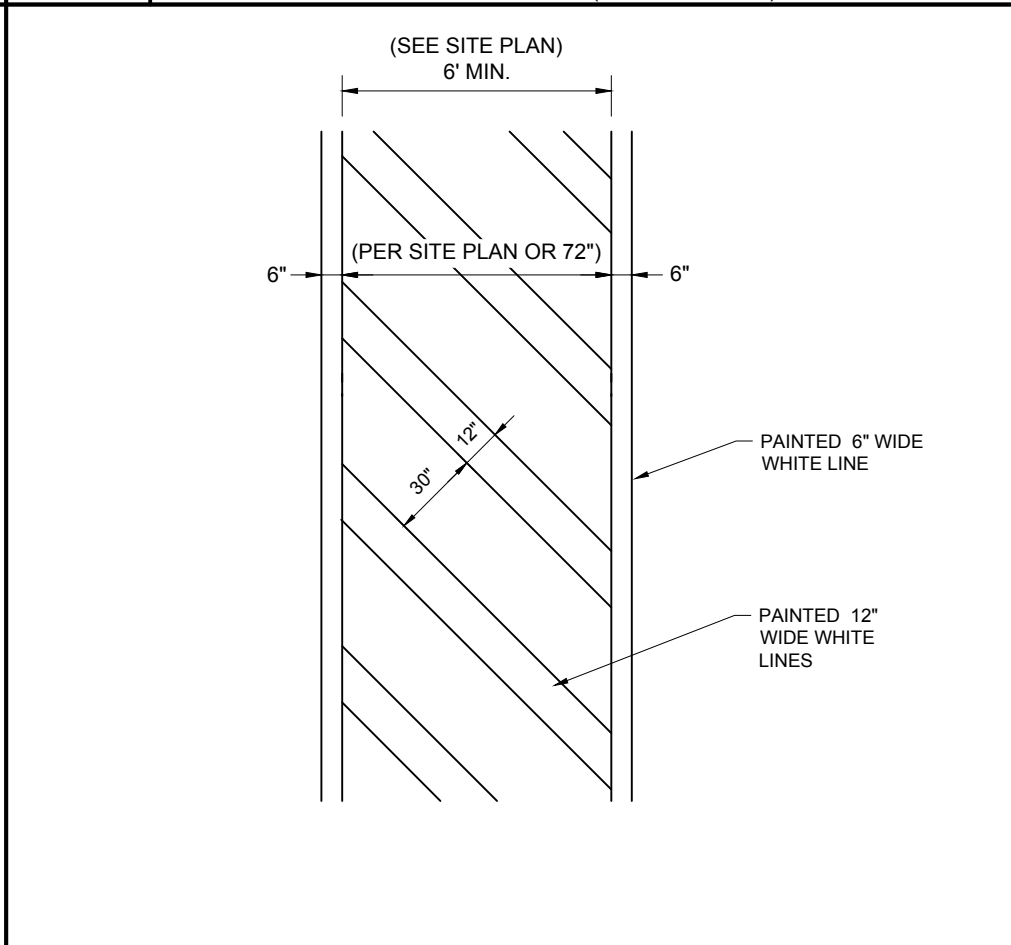
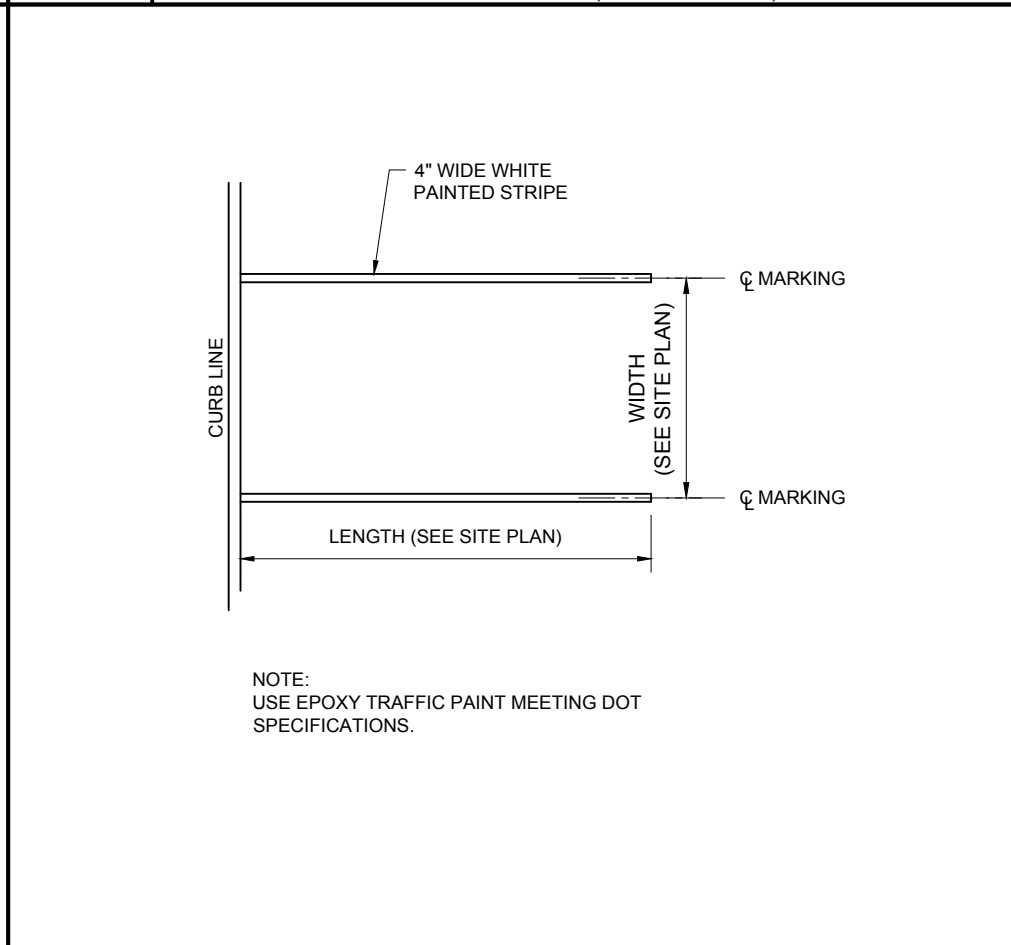
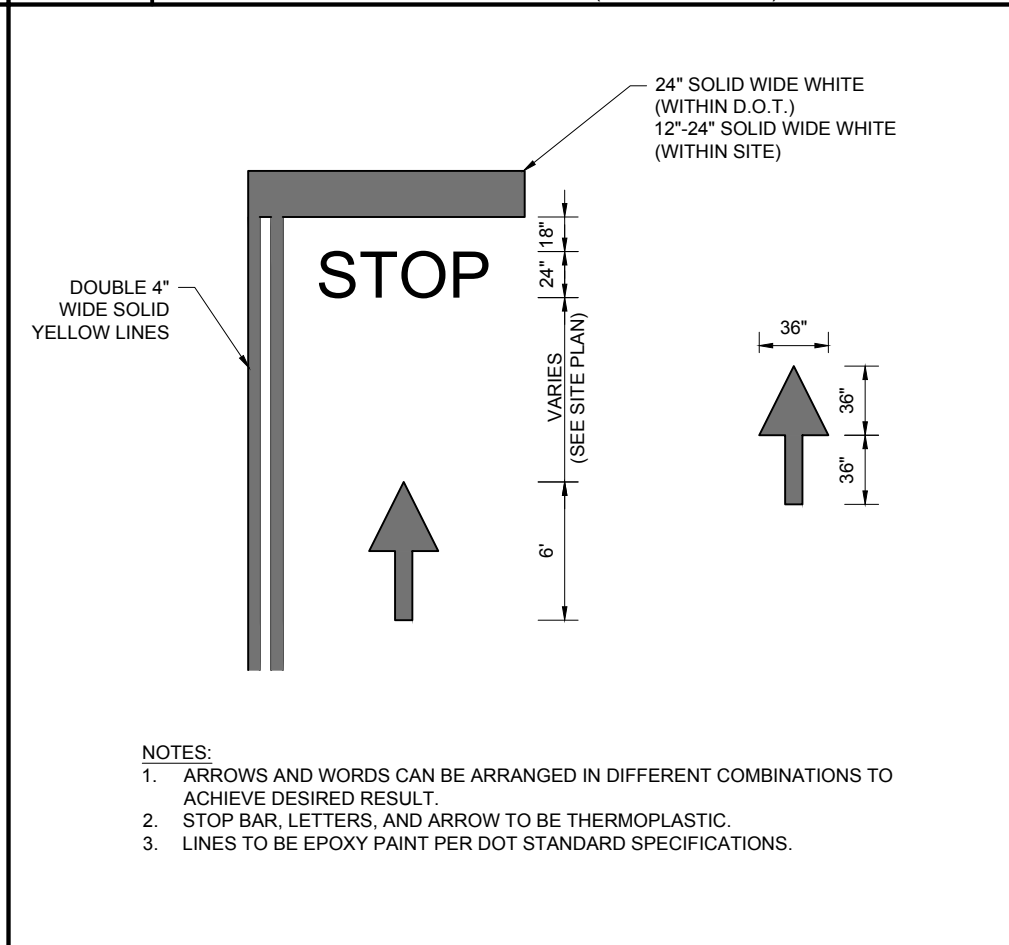
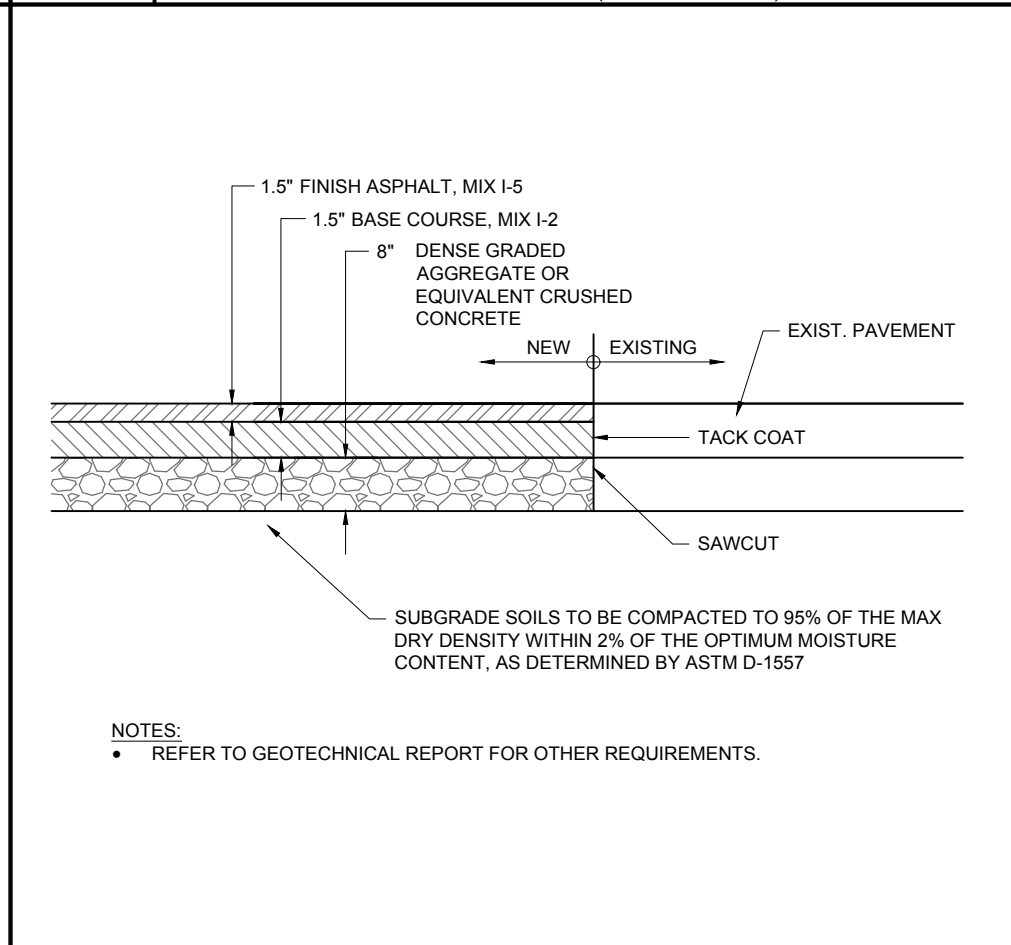
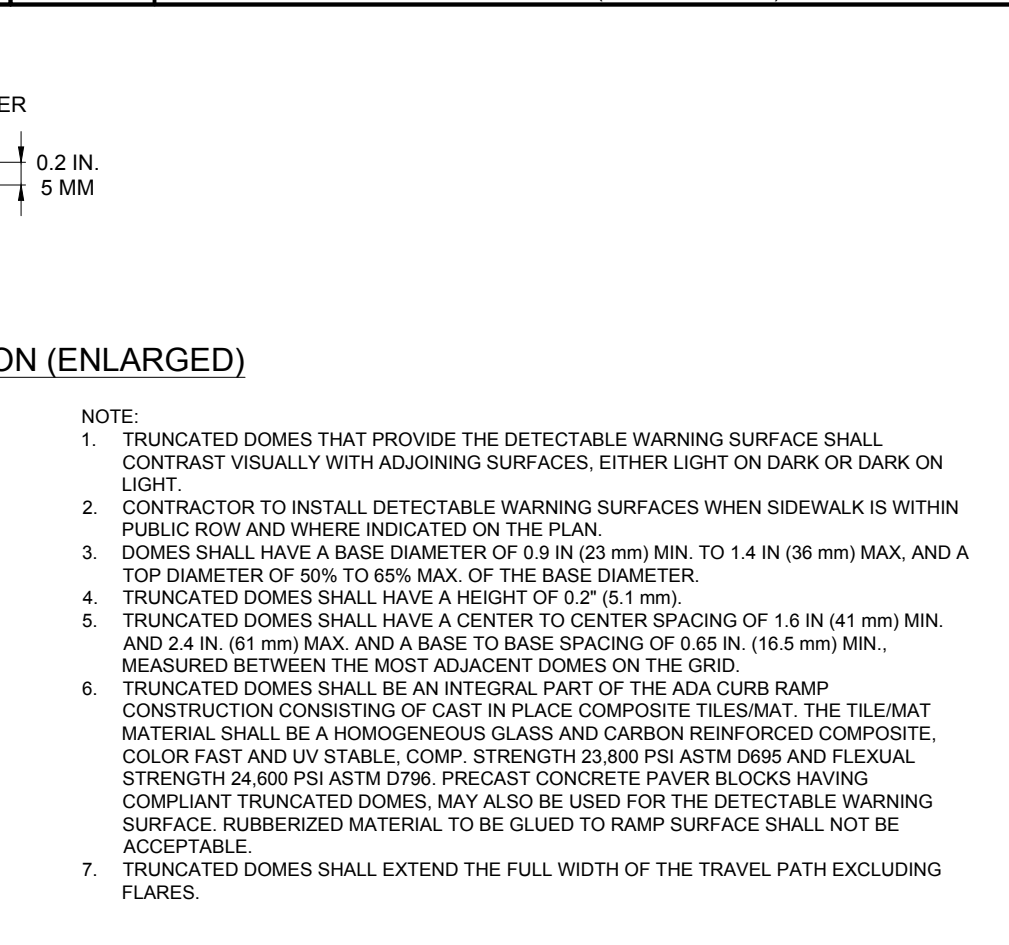
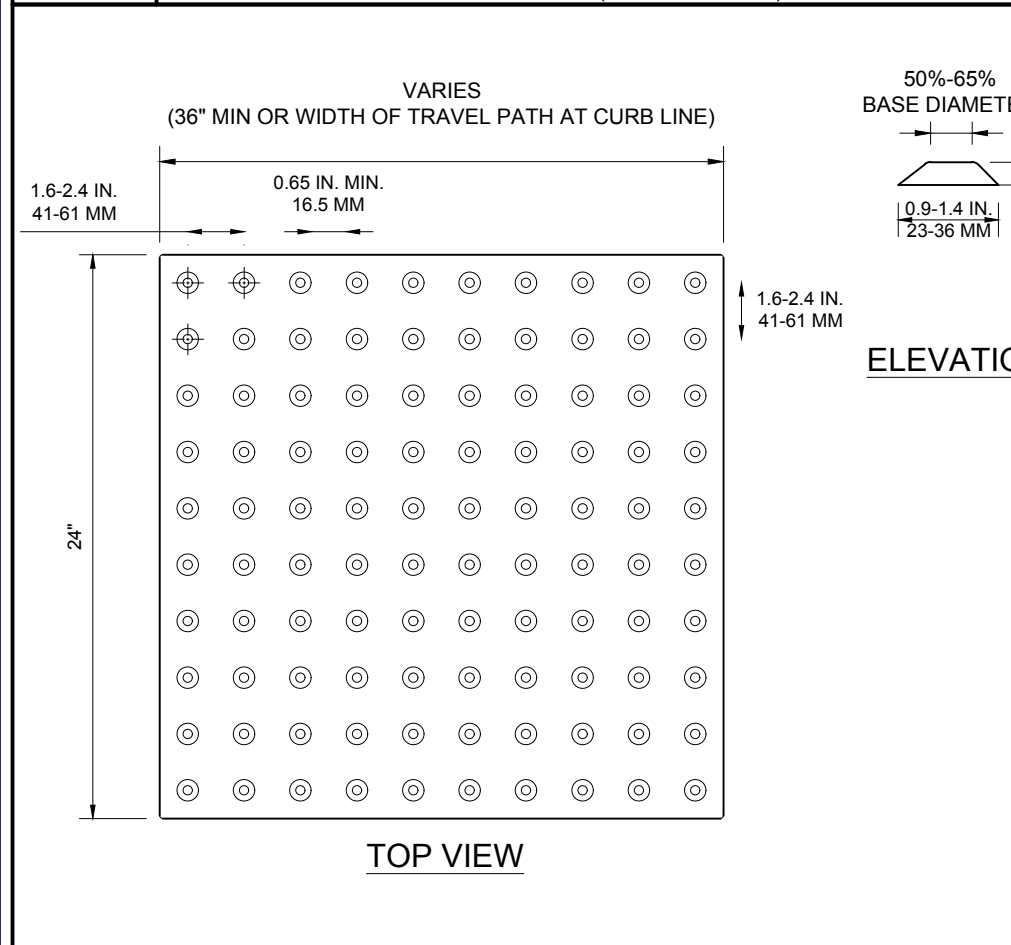
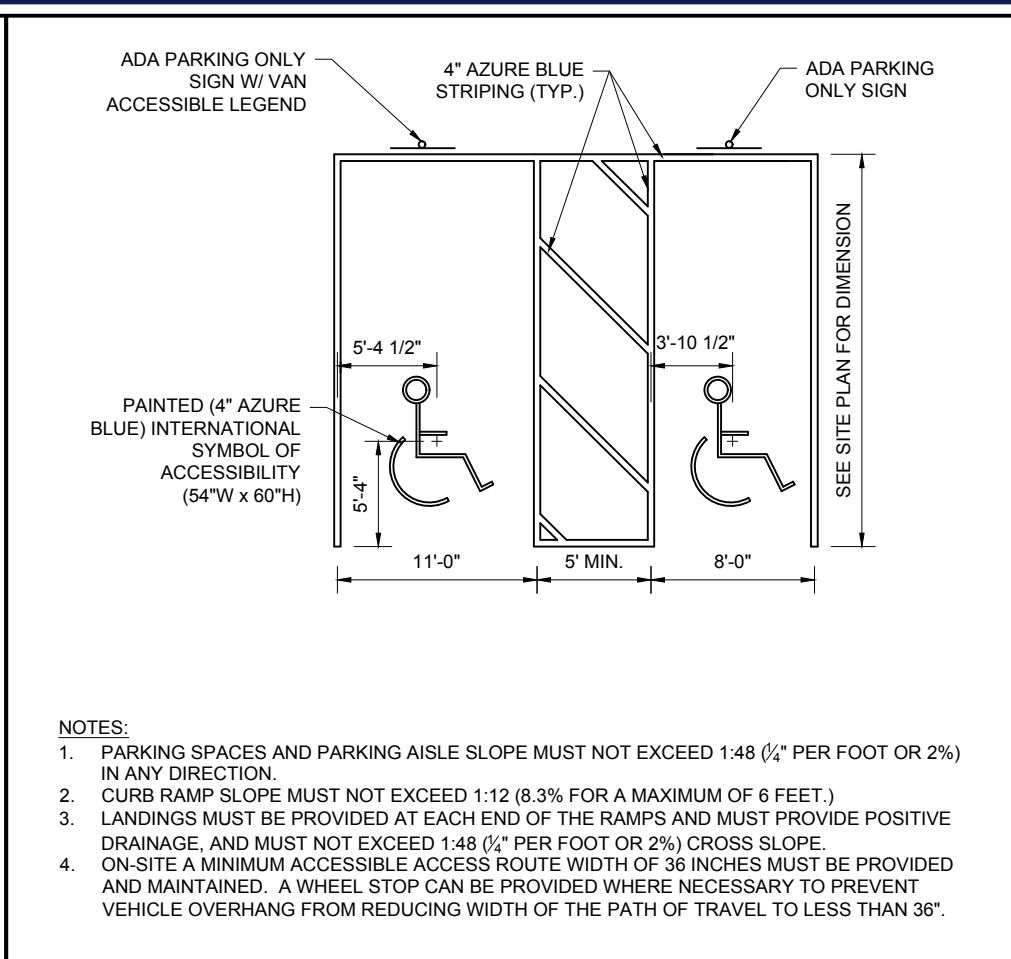
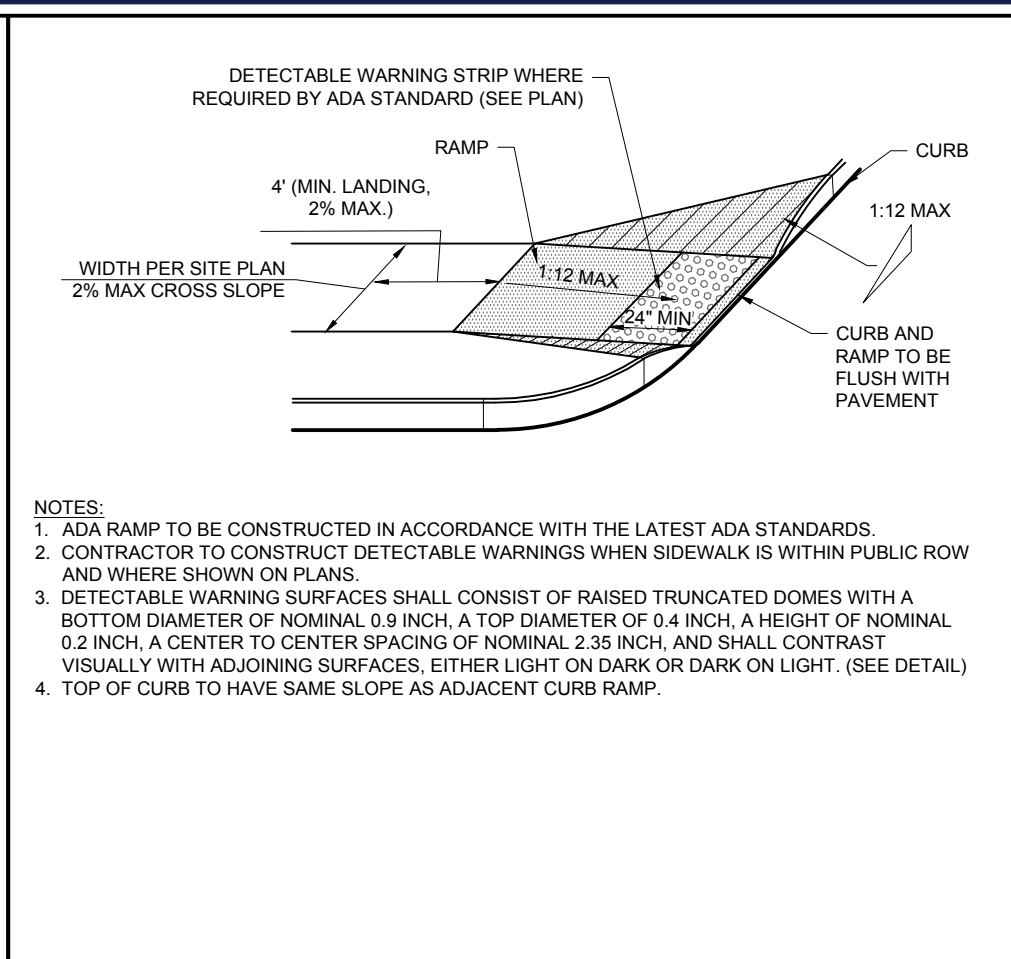
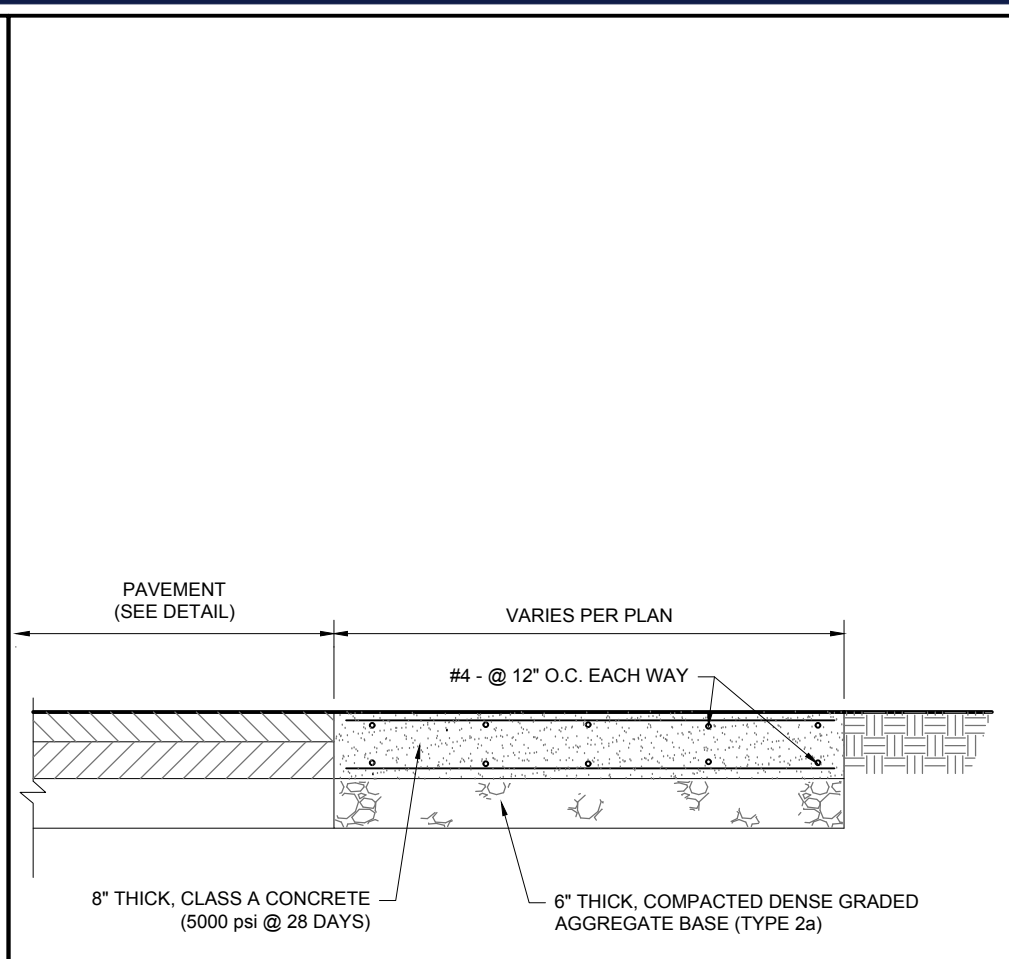
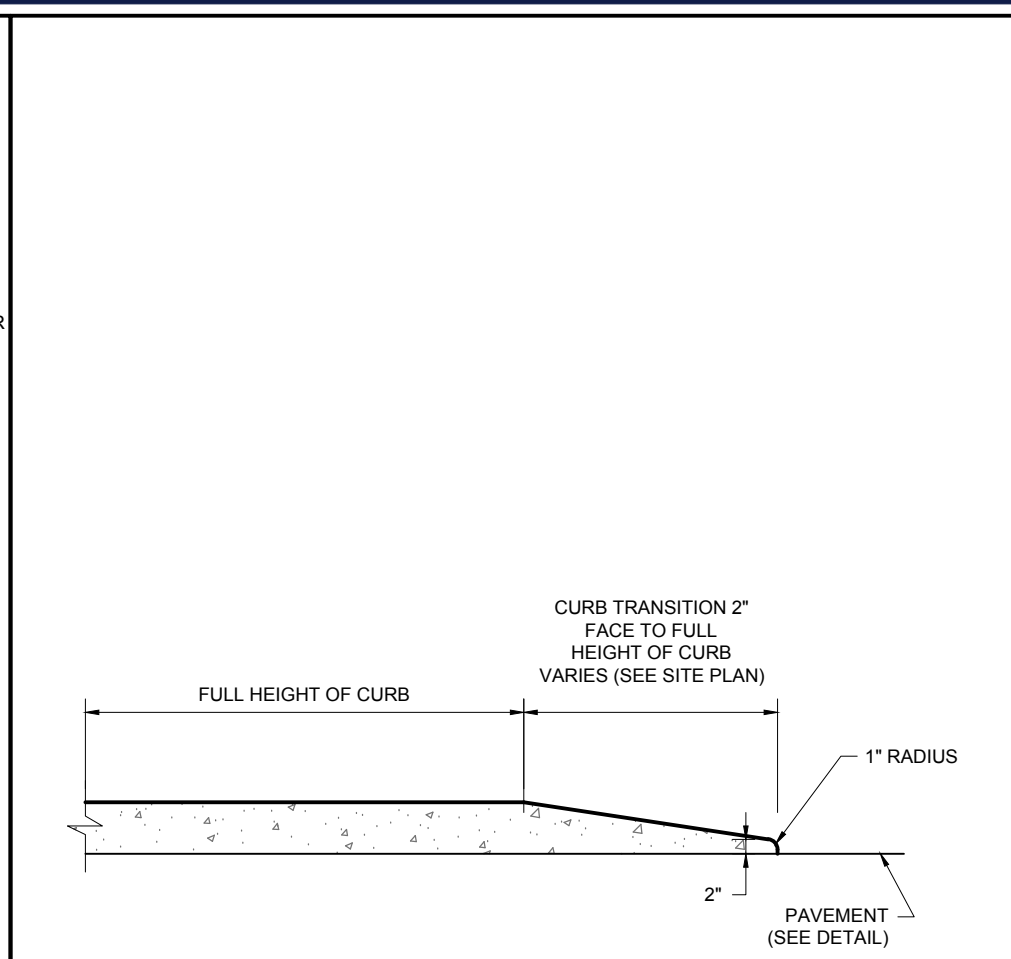
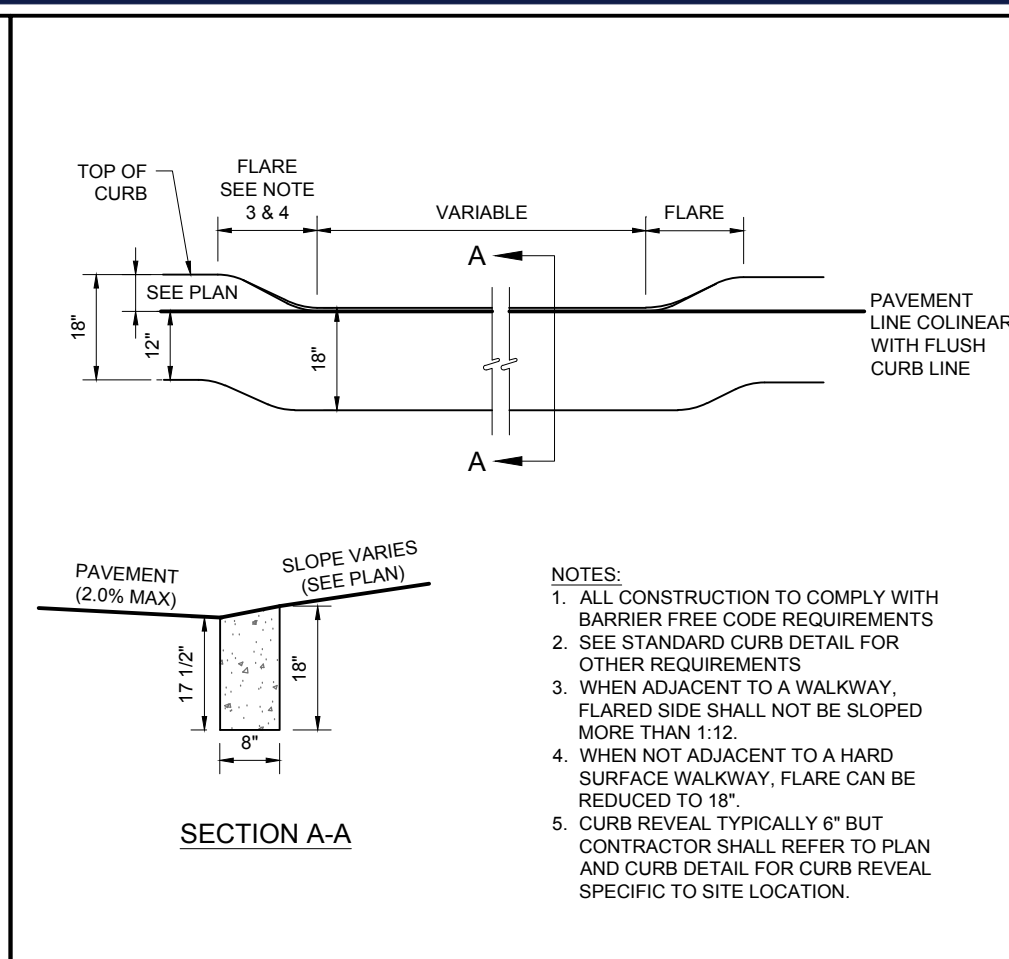
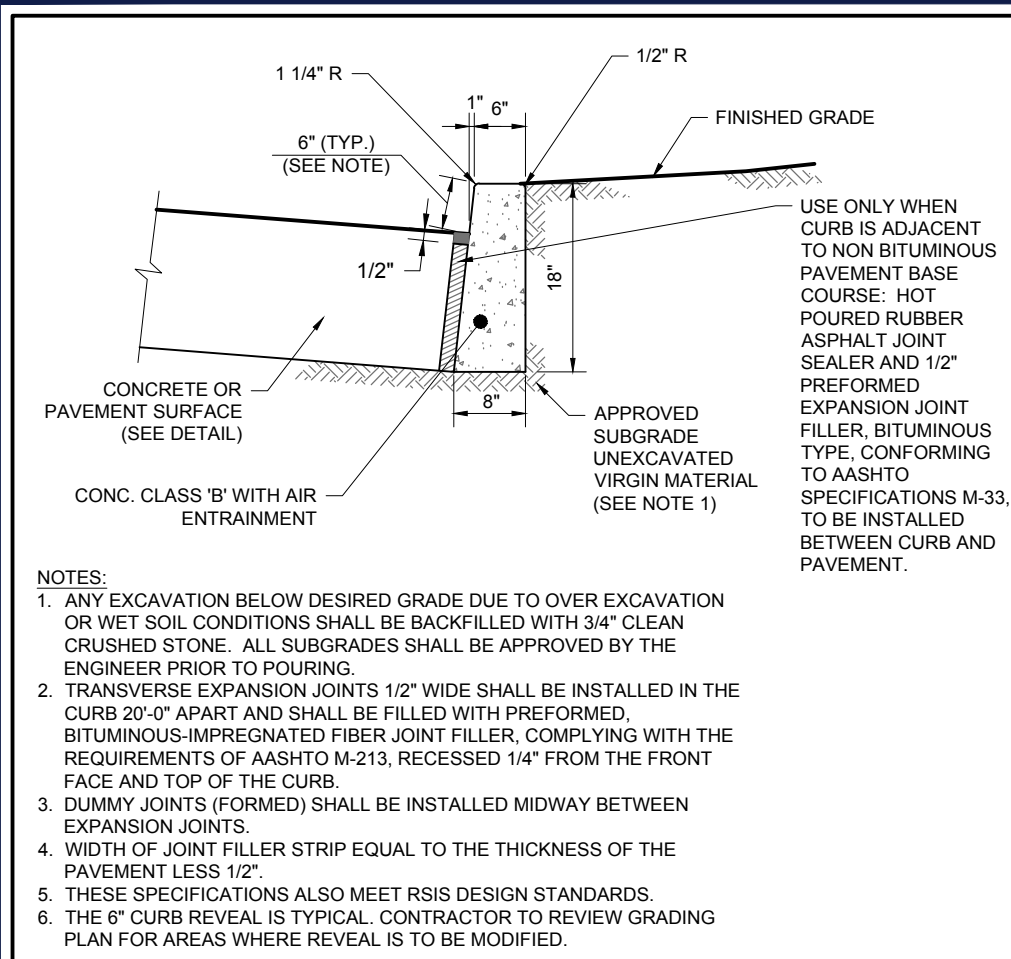
(Rev. 1/2020)

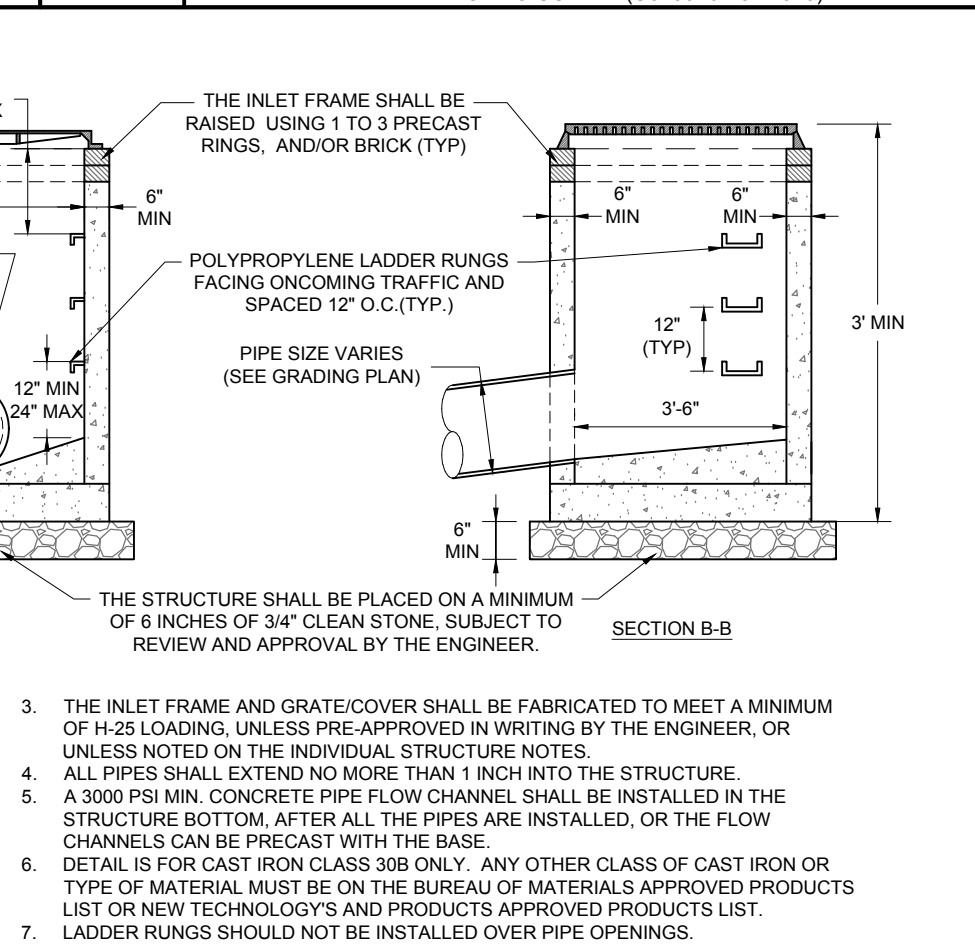
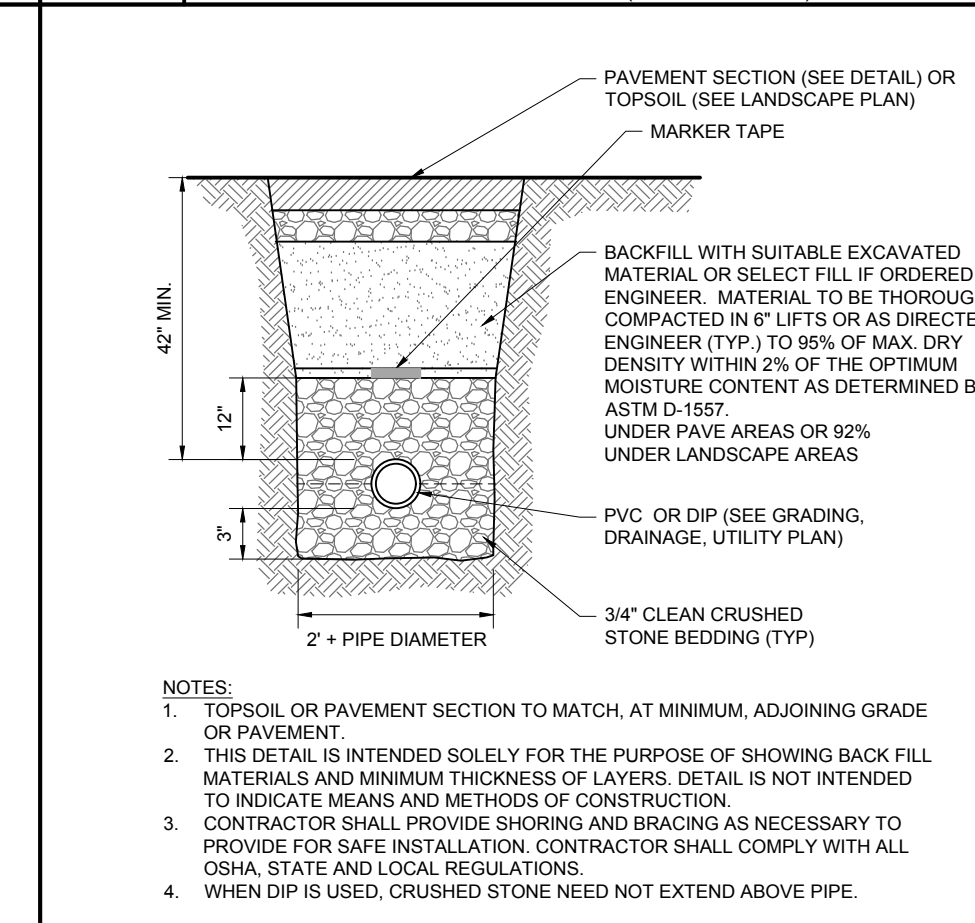
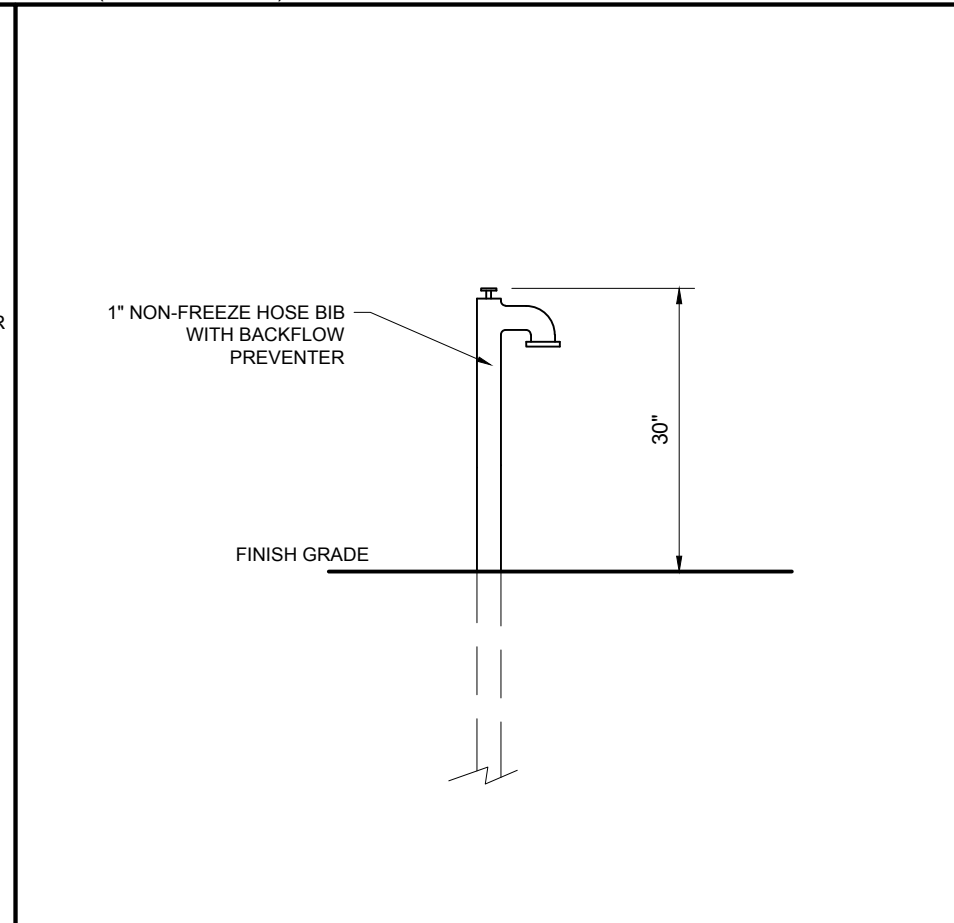
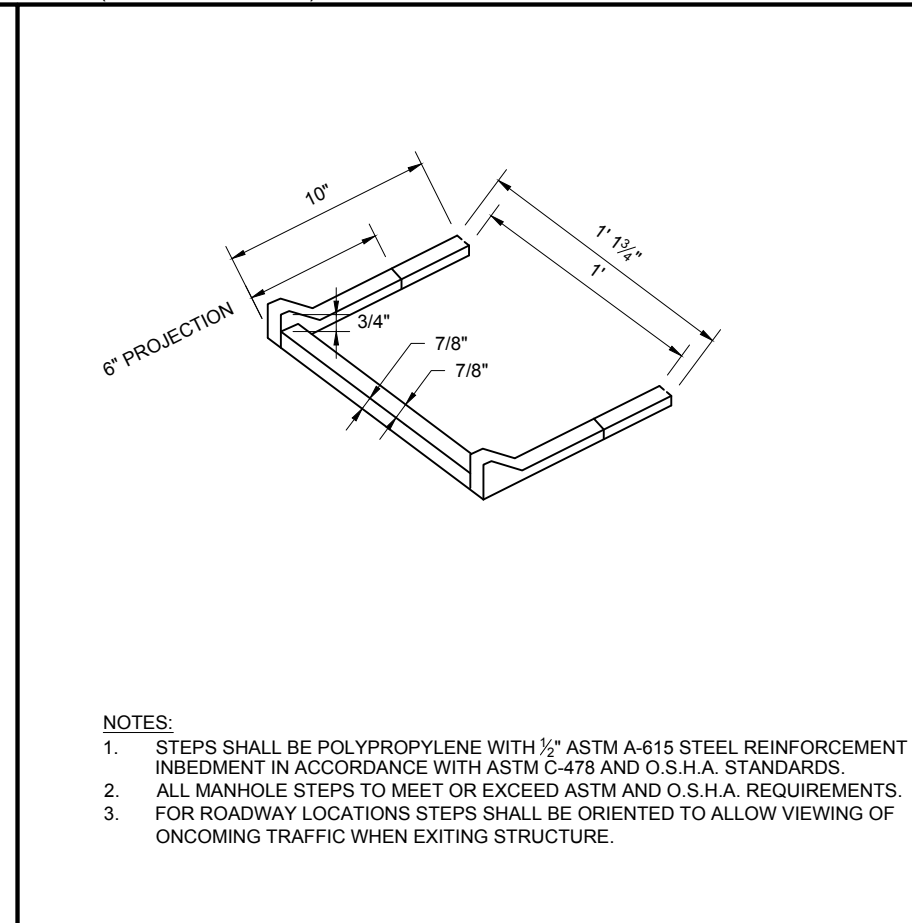
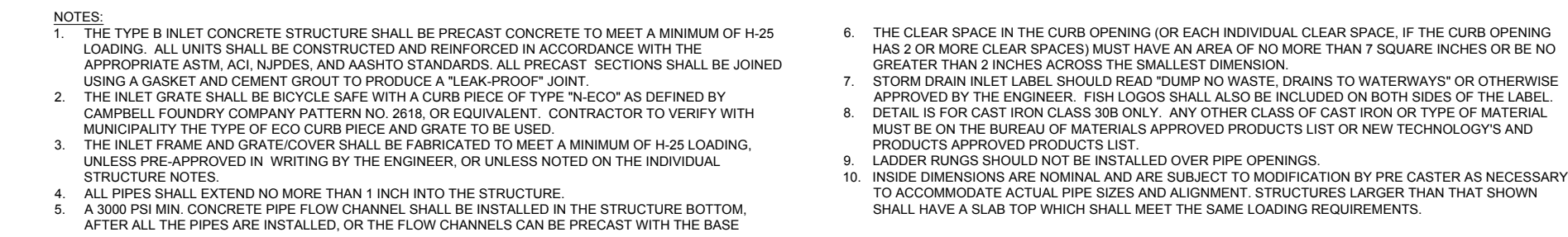
- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY UNDERSTAND THEM. THE CONTRACTOR SHALL BE RESPONSIBLE TO BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
1. THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS AND REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
2. THE CONTRACTOR SHALL PROVIDE, MAINTAIN, AND PROPOSED, SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE MANUFACTURER, ACTUAL, SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIOUS FACTORS INCLUDING BUT NOT LIMITED TO: TOLERANCE IN PLANS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
3. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ANALYZED ON A HORIZONTAL GEOMETRIC PLANE. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE LIGHTING LEVELS AND PERFORMANCE OF LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY AND MAINTAIN THE LIGHTING LEVELS AND PERFORMANCE OF LUMINAIRES, LAMPS AND LENSES.
4. THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS AND REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
5. THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS AND REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.
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11. THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS AND REQUIREMENTS INDICATED IN THE PLANS, INCLUDING BUT NOT LIMITED TO GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL AGENCY AND GOVERNMENTAL REGULATIONS.

CALCULATION SUMMARY						
LOCATION	UNITS	AVG.	MAX.	MIN.	AVG./MIN.	MAX./MIN.
FREDDY'S CUSTARD PARKING AREA	FC	3.81	8.8	0.8	4.76	11.00
FREDDY'S CUSTARD WALKWAYS	FC	3.17	6.7	0.7	4.53	9.57

**THIS PLAN TO BE UTILIZED FOR
LIGHTING PURPOSES ONLY**







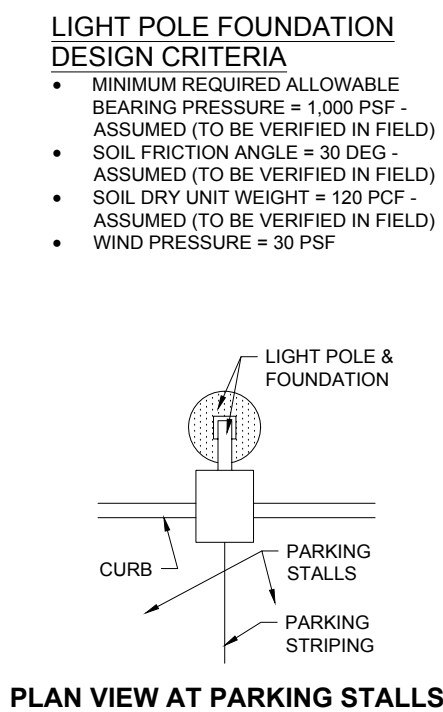
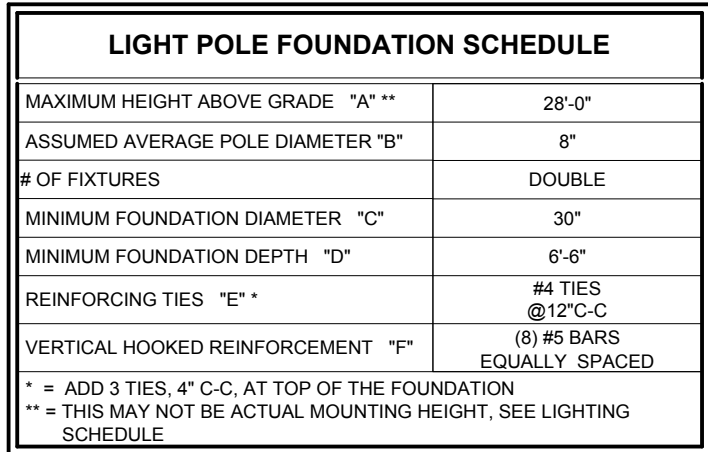
SHEET TITLE:

***DETAIL
SHEET***

SHEET NUMBER:

C-902

ORG. DATE - 07/20/2020



NOT TO SCALE (I020102-04/2019)(MODIFIED)

SPECIFICATION FEATURES

- Square straight steel shaft
- Dark bronze powder coated finish standard
- Shaft lengths from 10 to 39 feet
- Pole drilled for decorative mounting arm(s) or for top tenon mounting
- Single or multiple luminaire mounting
- Base cover includes two-piece ABS Plastic Full Cover
- Anchor bolts, hardware, handhole cover, circle template, shaft cap or top tenon - all included

Ordering	Nominal Mounting		Size	Wall	Watt	EPH (kg)	EPH (mm)	Boil	Boil	Approximate	Base Plate	
	Count	Size	Watt	Watt	Watt	EPH (kg)	EPH (mm)	Boil	Boil	Size (mm)	Size (mm)	Size (mm)
ASS1004A11D10	10	4	11	30	218	9.28	11.0	3/20	111	1.8256	2500x750	111
ASS1004A11D15	15	4	11	30	218	9.28	11.0	3/20	111	1.8256	2500x750	111
14004A11D10	10	4	11	30	215	11.17	8.25	3/20	111	1.8256	2500x750	111
15004A11D10	10	4	11	30	215	11.17	8.25	3/20	111	1.8256	2500x750	111
15004A11D15	15	4	11	30	215	11.17	8.25	3/20	111	1.8256	2500x750	111
15004A11D20	20	4	11	30	215	11.17	8.25	3/20	111	1.8256	2500x750	111
ASS1004A11D18	18	4	11	30	216	9.27	8.25	3/20	112	1.8256	2500x750	112
ASS1004A11D20	20	4	11	30	216	9.27	8.25	3/20	112	1.8256	2500x750	112
20004T00D	4	7	15	152	125.1	10.1	8.25	3/20	244	1.1905	2500x750	244
20004T00D	4	7	15	152	125.1	10.1	8.25	3/20	244	1.1905	2500x750	244
20005T10D	20	5	11	17	112.7	9.24	11.0	3/20	185	1.1001	1001x1001	185
ASS15004A11D15	15	4	11	4.8	2.6	11.0	8.25	3/20	193	1.8256	2500x750	193
ASS15004A11D20	20	4	11	4.8	2.6	11.0	8.25	3/20	193	1.8256	2500x750	193
250K07D	7	4	11	18	183.3	9.95	11.0	3/20	295	1.1001	1001x1001	295
250K07D	7	4	11	18	183.3	9.95	11.0	3/20	295	1.1001	1001x1001	295
ASS15004A11D10	10	5	11	4.7	2.0	11.0	3/20	263	1.1001	1001x1001	263	
300K07D	7	4	11	10	67.9	9.95	11.0	3/20	480	1.1001	1001x1001	480
300K07D	7	4	11	10	67.9	9.95	11.0	3/20	480	1.1001	1001x1001	480
ASS15004A11D15	15	5	11	7.9	2.5	11.0	3/20	430	1.1001	1001x1001	430	
ASS15004A11D20	20	5	11	7.9	2.5	11.0	3/20	430	1.1001	1001x1001	430	
ASS15004A11D25	25	6	7	5.2	73.0	11.0	10.0	4/90	693	1.2501	501x501	693

[illegible]

CONTRACTOR TO COORDINATE LIGHT POLE SPECIFICS WITH MANUFACTURER
LIGHT POLE COLOR TO MATCH FIXTURE: BLACK

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2008/P-1:

NOT TO SCALE SOURCE: GE LIGHTING SOLUTIONS

