

ISSUED FOR: PLANNING AND ZONING
DATE: 03/17/2020

PARKING AND LOADING STATISTICS				
LINDEN, NEW JERSEY				
SECTION 31-27 - PARKING AND LOADING REQUIREMENTS				
REGULATIONS	REQUIRED	EXISTING	PROPOSED	VARIANCE
PARKING SPACES DIMENSION	9 FT X 18 FT	9 FT X 18 FT	9 FT X 18 FT	NO
AISLE WIDTH	24 FT	25 FT	28 FT	NO
PARKING SPACES	DISTRIBUTION CENTER (1 SPACE FOR EVERY TWO (2) EMPLOYEES AT PEAK HOUR OF EMPLOYMENT OR ONE (1) SPACE FOR EVERY ONE THOUSAND (1000) SQUARE FEET OF BUILDING AREA, WHICHER IS GREATER) GFA = 311,000 SFT (311,000/1000) = 311 SPACES	88	656	NO
ADA PARKING	-----	6	6	NO
VEHICULAR USE SETBACK	5 FT FROM FRONT PROPERTY LINE 3 FT FROM SIDE OR REAR PROPERTY LINE	3.6 FT	NO CHANGE	NO
LOADING IN FRONT YARD	X			
LOADING SPACE DIMENSION	X			
LOADING SPACE	X			



NATURAL GAS
ELIZABETHTOWN GAS
ATTN: GARY MARMO
520 GREEN LANE
UNION, NJ 07083
(908) 662-8454

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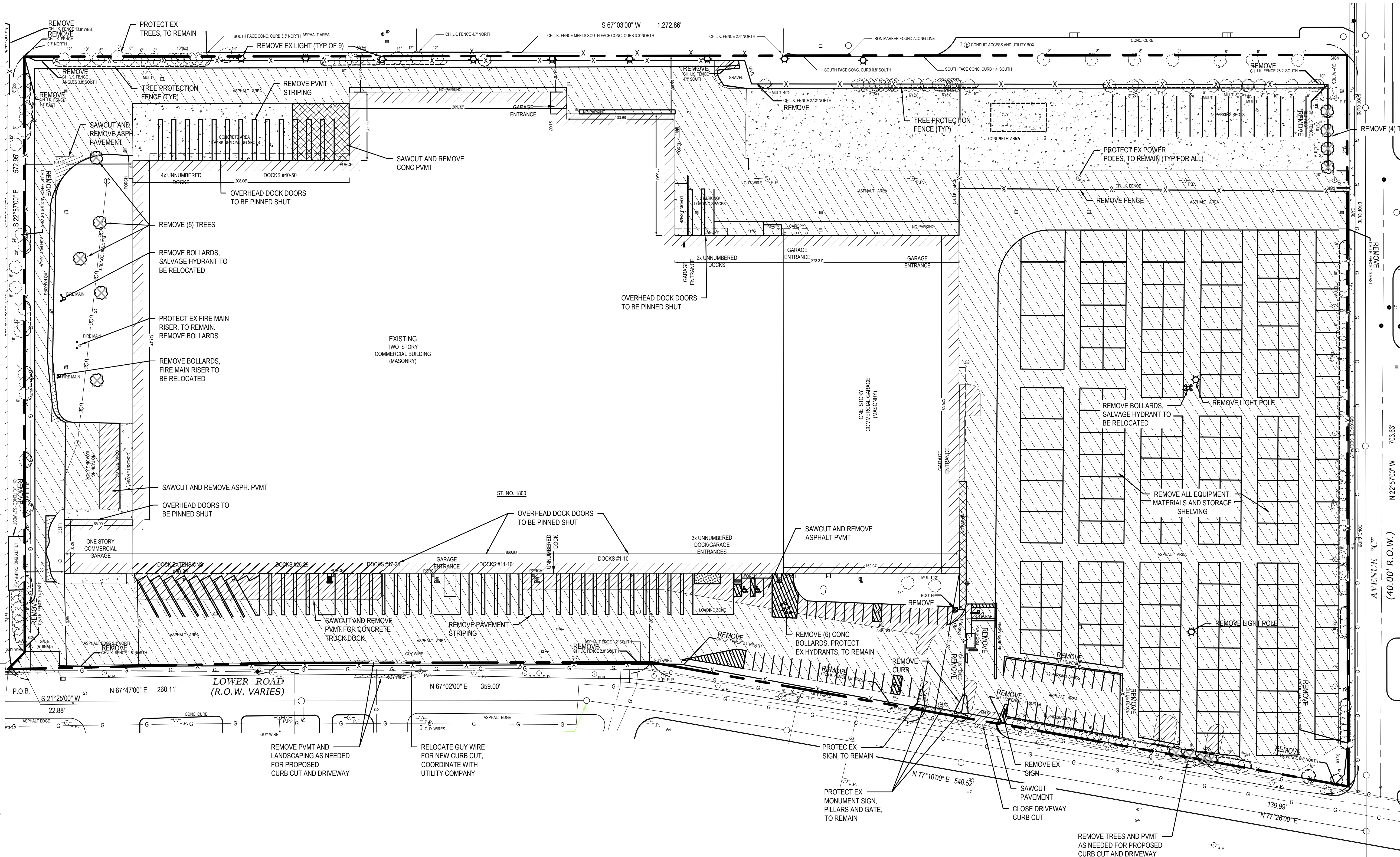
● - 03/17/20	G0.01	COVER SHEET
● - 03/17/20	C0.0	TOPOGRAPHIC SURVEY
● - 03/17/20	C1.0	SITE DEMOLITION PLAN
● - 03/17/20	C1.1	EROSION CONTROL PLAN
● - 03/17/20	C2.0	OVERALL CONTEXT PLAN
● - 03/17/20	C2.1	SITE LAYOUT PLAN
● - 03/17/20	C2.2	SITE SIGNAGE AND PAVEMENT PLAN
● - 03/17/20	C3.0	SITE GRADING AND DRAINAGE
● - 03/17/20	C4.0	SITE UTILITY PLAN
● - 03/17/20	C5.0	DETAILS SHEET
● - 03/17/20	C5.1	SITE SIGNAGE AND GRAPHICS DETAIL SHEET
● - 03/17/20	L1.0	LANDSCAPE PLAN

Diagram illustrating the components of a drawing title block:

- MOST RECENT ISSUE DATE
- LATEST REVISION NUMBER
- FILLED IN CIRCLE INDICATES DRAWING INCLUDED IN THIS DRAWING SET.



CALL 811 NOTE:
CONTRACTOR TO CONTACT 811
"NEW JERSEY ONE CALL" SERVICE
AT LEAST 3 WORKING DAYS PRIOR
TO CONSTRUCTION TO CONFIRM
LOCATION OF EXISTING UTILITIES.
DIAL 811 OR 1.800.272.1000





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EXISTING UTILITIES. DIAL 811.

A

B

C

D

**EXISTING BUILDING
PROPOSED DELIVERY STATION**

ADDRESS: 1800 LOWER ROAD
LINDEN, NJ 07036
BLOCK: 580
LOT: 55

OWNER: CENTERPOINT LOWER LLC
OAK BROOK, IL 60523

AREA: 17.99 AC

ZONE: LI

EROSION CONTROL PLAN
1"= 50' 0 50'

EROSION CONTROL NOTES

- INSTALL EROSION CONTROL MEASURES AT THE LIMITS OF EARTHWORK PRIOR TO THE START OF ANY EARTHWORK OPERATIONS. ALL OTHER EROSION CONTROL MEASURES SHALL BE INSTALLED IN CONJUNCTION WITH THE CONSTRUCTION SCHEDULE AND SEQUENCE AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- MAINTAIN ALL EROSION CONTROL INSTALLATIONS DURING THE COURSE OF CONSTRUCTION. MAKE INSPECTIONS AFTER EACH STORM EVENT AND REPAIR OR REPLACE ANY DAMAGE. REMOVE ACCUMULATED SEDIMENT FROM SEDIMENT BASINS TO MAINTAIN EFFECTIVENESS OF EROSION CONTROL INSTALLATIONS. REPAIR ANY ERODED AREAS ON SLOPES OR NEAR SILT FENCE. REGRADE AND RESEED ANY TEMPORARY SEEDER AREAS AS NECESSARY TO PREVENT EROSION.
- THE EROSION CONTROL MEASURES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH "THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY".
- KEEP PUBLIC ROADWAYS CLEAR OF ACCUMULATED SEDIMENT. SEDIMENTS SHALL BE REMOVED IMMEDIATELY UPON ENTERING PUBLIC ROADWAYS AND SHALL BE RETURNED TO THE LIKELY POINT OF ORIGIN. SEDIMENTS SHALL NOT BE FLUSHED OR WASHED FROM THE AREA WITH WATER.
- SILTSACK MANUFACTURED BY CSI GEOTURF OR HANES GEO PRODUCTS OR APPROVED EQUAL SHALL BE USED FOR STORM INLET PROTECTION ITEM S58 (SEE SESC KEYING SYSTEM LEGEND).
- CONTRACTOR SHALL INSTALL AND MAINTAIN SILT FENCE AROUND ALL SUBSOIL SPOIL AND TOPSOIL STOCKPILE AREAS. ALL SOIL PILES SHALL BE SEEDDED WITH APPROVED SEED MIXTURES AND BE LOCATED AWAY FROM ANY DOWNSLOPE STREET, DRIVEWAY, DITCH OR DRAINAGE WAY
- REMOVE TEMPORARY CONTROL MEASURES AS FOLLOWS:

PAVEMENT AREAS - MAINTAIN IN SERVICE UNTIL PREPARATION FOR PLACEMENT OF BITUMINOUS LEVELING COURSES

LAWN AREAS - REMOVE AFTER LAWN IS WELL ESTABLISHED AND ROOTED
- SILT FENCE SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND AFTER EVERY RAIN. SEDIMENT SHALL BE REMOVED IF DEPOSITS REACH HALF THE FENCE HEIGHT.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL TEMPORARY SOIL EROSION. OWNER WILL BE RESPONSIBLE FOR PERMANENT SOIL EROSION CONTROL.
- DUST CONTROL SHALL BE PROVIDED BY MEANS OF WATER DISTRIBUTION ON A REGULAR BASIS OVER AREAS THAT COULD POTENTIALLY PRODUCE DUST CONDITIONS.
- CONTRACTOR TO PROVIDE NAME AND NUMBER OF CERTIFIED STORMWATER OPERATOR ASSIGNED TO THIS PROJECT SITE.

S-E-S-C KEYING SYSTEM

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
EROSION CONTROLS			
PS	PERMANENT SEEDING		Stabilization method utilized on site where earth change has been completed (final grading attained).
SF	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
IP	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.

LIMITS OF DISTURBANCE

TOTAL DISTURBED AREA = 0.92 ACRES



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03/17/2020

REVISIONS

NO. DATE DESCRIPTION

FILE NUMBER 83460043
PROJECT MANAGER JRV
PROFESSIONAL JPM
DRAWN BY JRS
CHECKED BY JPM

**EROSION
CONTROL PLAN
C1.1**

progressive

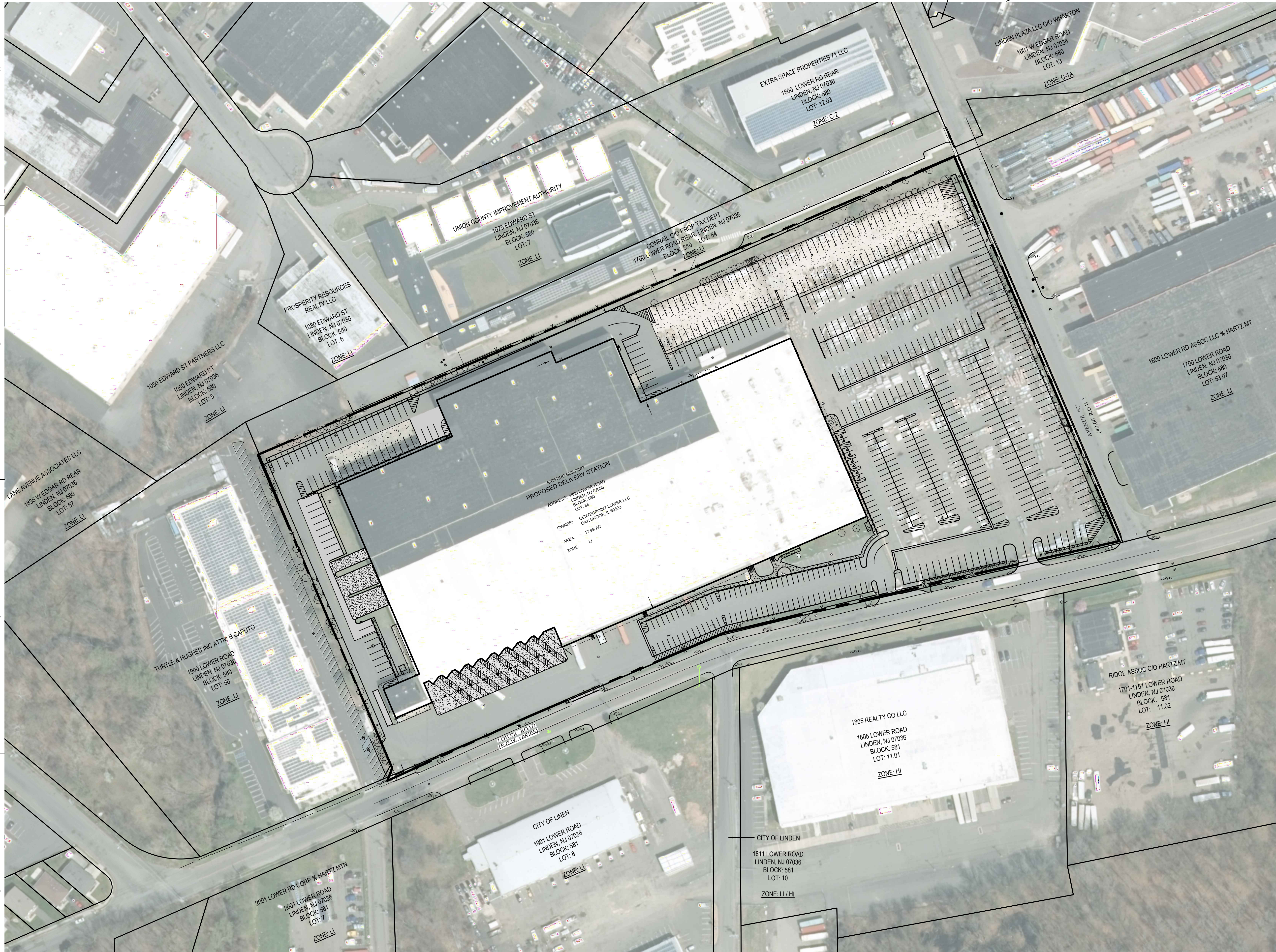
DELIVERY STATION

1800 LOWER ROAD, LINDEN, NJ 07036

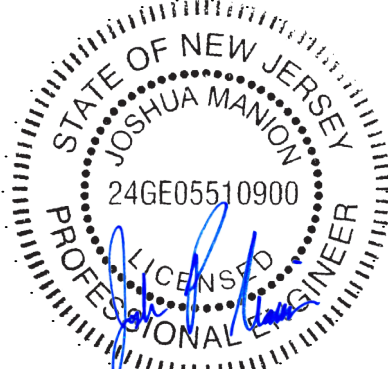
1811.4 Mile Rd NE, Grand Rapids, MI 49525 616.361.2654 www.progressive.com



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OVERALL CONTEXT PLAN
1"= 80' 0 80'



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**OVERALL
CONTEXT PLAN
C2.0**

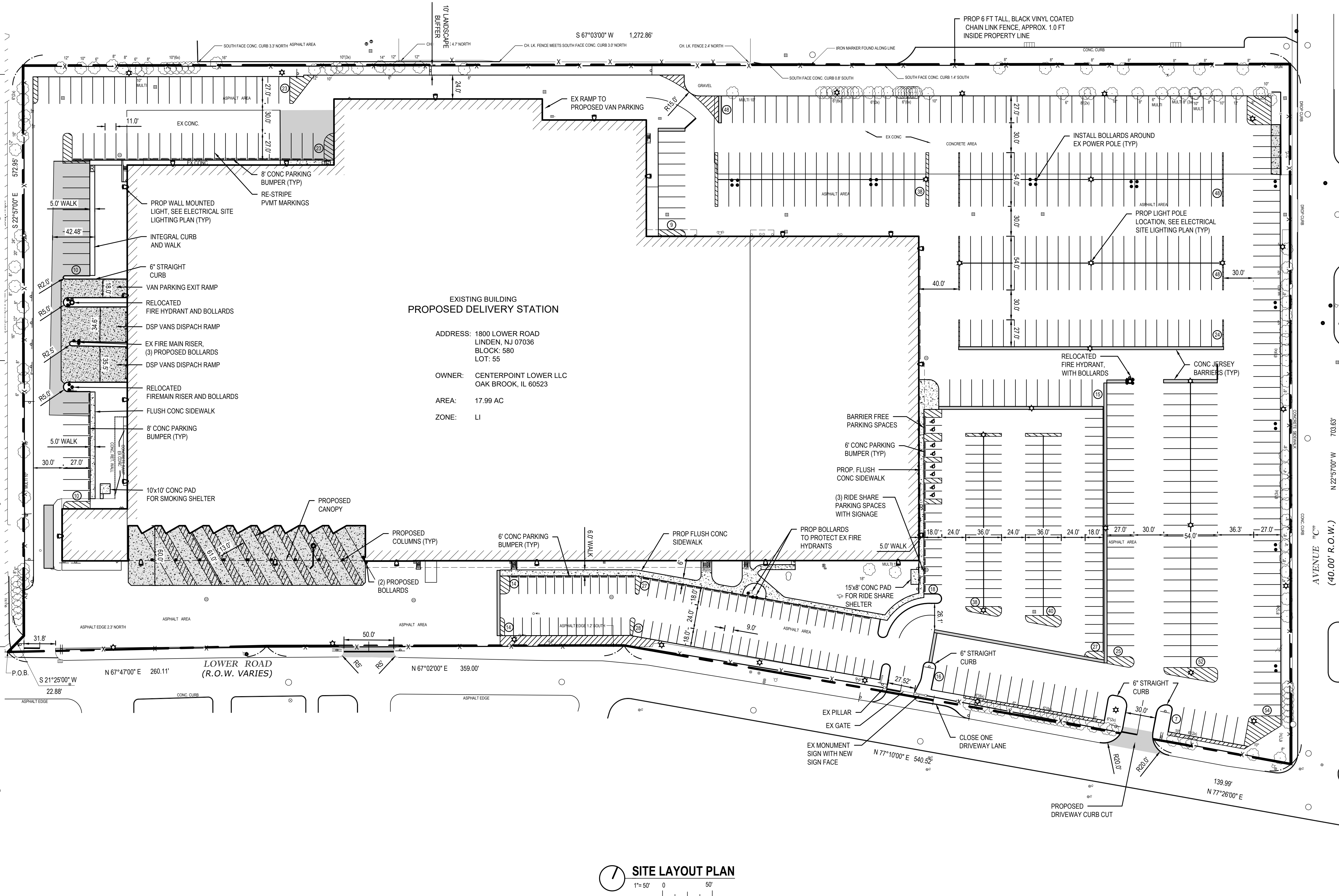
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SITE LAYOUT PLAN
1" = 50'

GENERAL NOTES

1. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
3. REFER TO DRAWING C0.0 FOR BENCHMARK INFORMATION.
4. ALL MATERIAL, SPECIFICATIONS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE MUNICIPAL AGENCIES.
5. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
6. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
7. EXISTING TREES TO REMAIN - CONTRACTOR TO PROTECT ROOT SYSTEMS BY MAINTAINING TREE PROTECTION FENCE AT TREE DRIPLINE TO ELIMINATE MATERIAL STORAGE, PARKING OR CONSTRUCTION TRAFFIC WITHIN THE TREE DRIPLINE.
8. PROPOSED WORK IS OUTSIDE THE KINGS CREEK 100 YEAR FLOODPLAIN PER FEMA FIRM PANEL 0044F

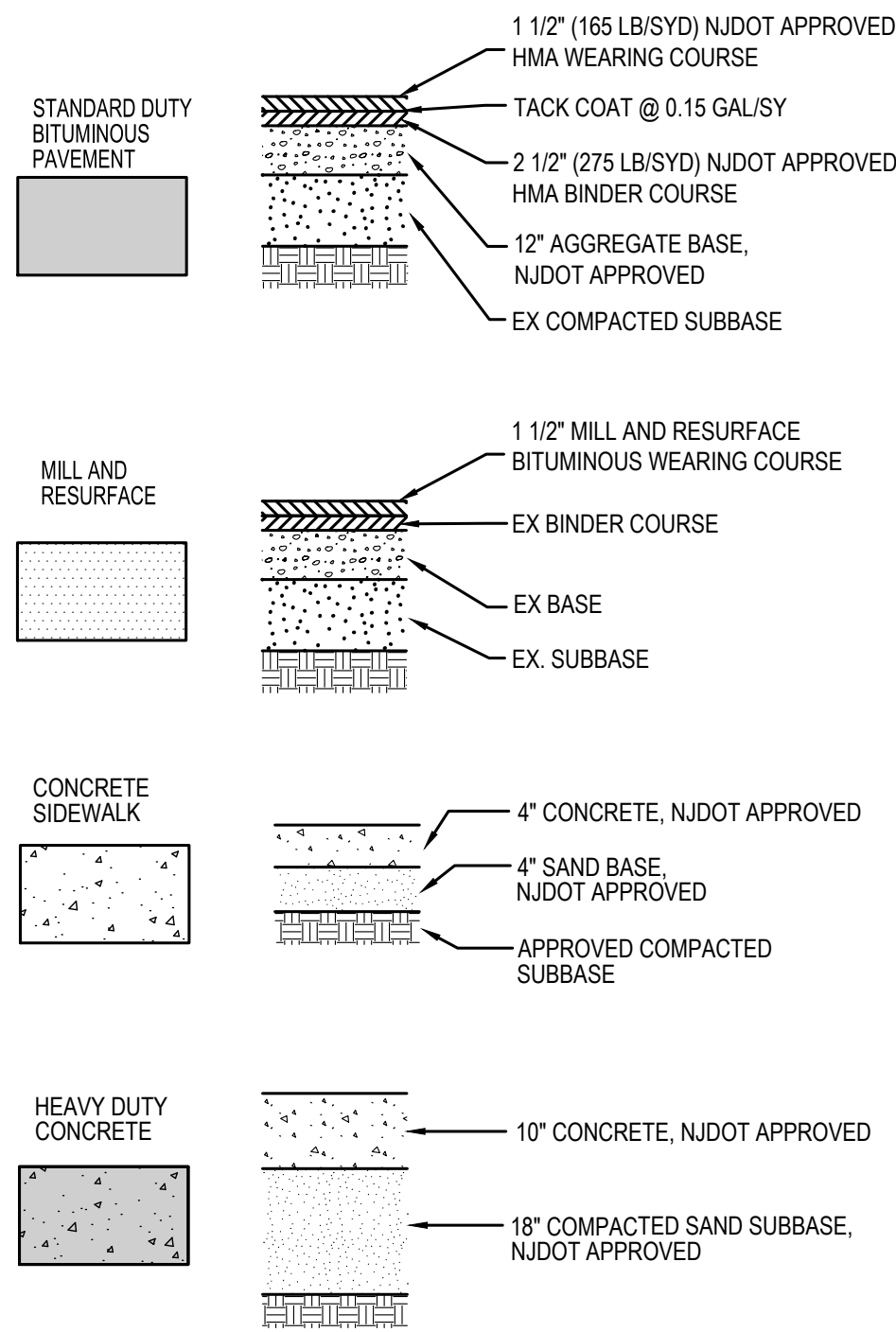
ZONING NOTES

ZONE DISTRICT: LI
ADJACENT ZONING: LI, HI
PARCEL SIZE: 17.99 ACRES
PARKING REQUIRED: 311 SPACES
WAREHOUSES, STORAGE BUILDINGS, DISTRIBUTION CENTERS, ONE (1) PARKING SPACE FOR EVERY TWO (2) EMPLOYEES AT THE PEAK HOUR OF EMPLOYMENT OR ONE (1) SPACE FOR EVERY ONE THOUSAND (1,000) SQUARE FEET OF BUILDING AREA, WHICHEVER THE GREATER. EXCEPT THAT THE PLANNING BOARD MAY WAIVE FIFTY (50%) PERCENT OF THE REQUIRED NUMBER OF SPACES PROVIDED A NOTATION IS PUT UPON THE SITE PLAN MAP STATING THAT AN AREA IS RESERVED FOR FUTURE PARKING.
1 UNIT X (311,000 SFT / 1,000 SFT) = 311 SPACES
PARKING PROVIDED:
ASSOCIATE PARKING (8'x18'): 198 SPACES
BARRIER FREE PARKING: 8 SPACES
DSP VAN PARKING: 450 SPACES
TOTAL SPACES PROVIDED: 656 SPACES
DISTURBED AREA: ~2.75 ACRES
ADDED PAVEMENT: ~0.35 ACRES
ADDED GREENSPACE: ~0.27 ACRES
TOTAL INCREASED IMPERVIOUS: ~0.08 ACRES

GENERAL SITE LAYOUT NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. CONTACT "NEW JERSEY ONE CALL" TOLL FREE AT 811 OR 1-800-272-1000 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
3. NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
4. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
5. UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
6. ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
7. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
8. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
9. ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET CITY OF LINDEN STANDARDS.
10. PROPOSED FENCE SHALL MEET CITY OF LINDEN STANDARDS.

PAVEMENT LEGEND



STORMWATER SUMMARY NOTES

NJDEP STORMWATER MANAGEMENT RULE APPLICABILITY THRESHOLD:
1 ACRE MINIMUM OF DISTURBANCE OR
0.25 ACRE OF IMPERVIOUS INCREASE
PROPOSED SITE CALCULATIONS:
DISTURBANCE AREA: 0.92 AC
IMPERVIOUS INCREASE: 0.14 AC
*NOTE: THRESHOLDS FOR STORMWATER MANAGEMENT IMPROVEMENTS ARE NOT MET. NO STORMWATER SYSTEM MODIFICATIONS OR IMPROVEMENTS ARE PROPOSED.

DELIVERY STATION



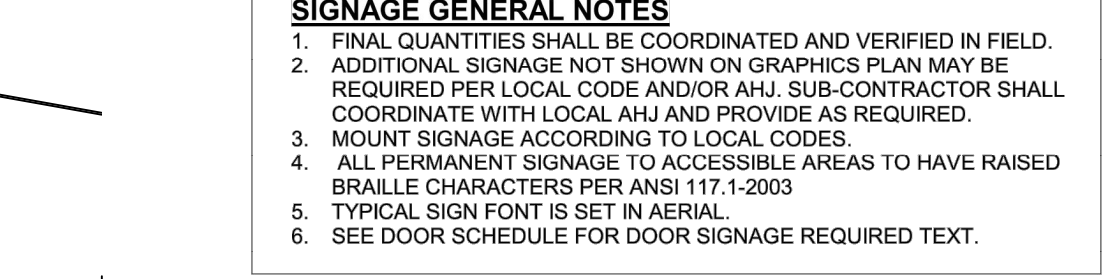
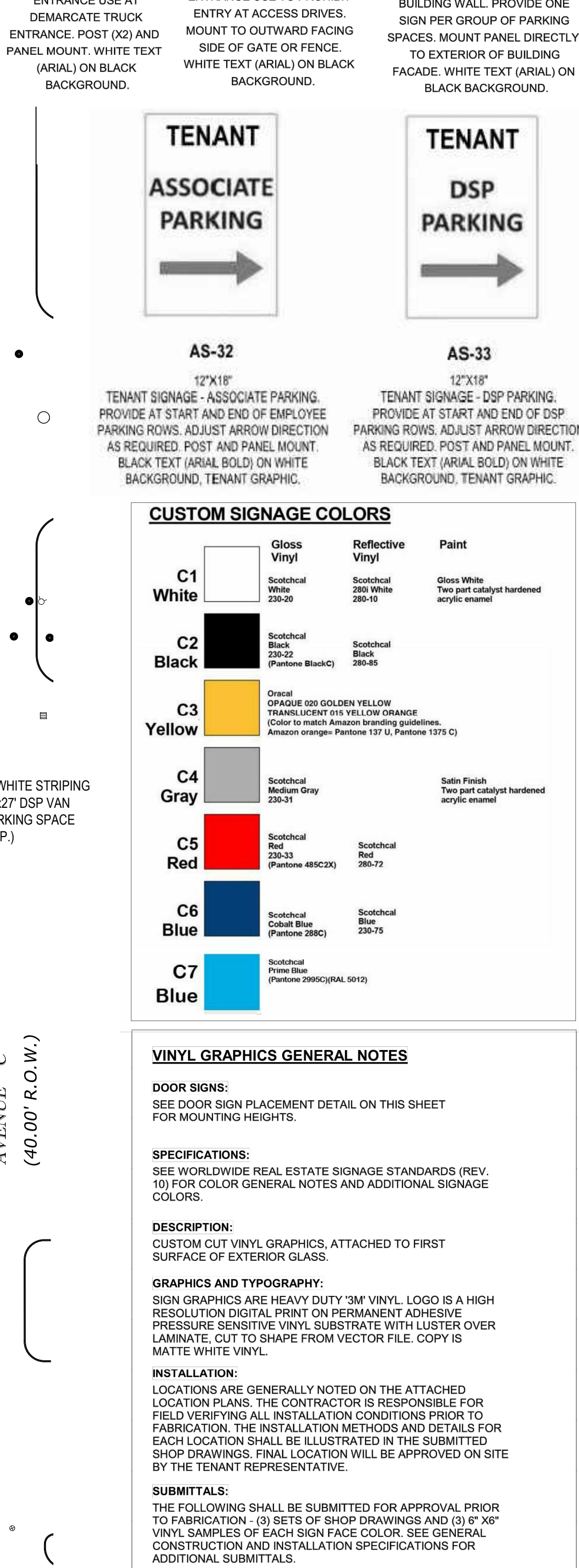
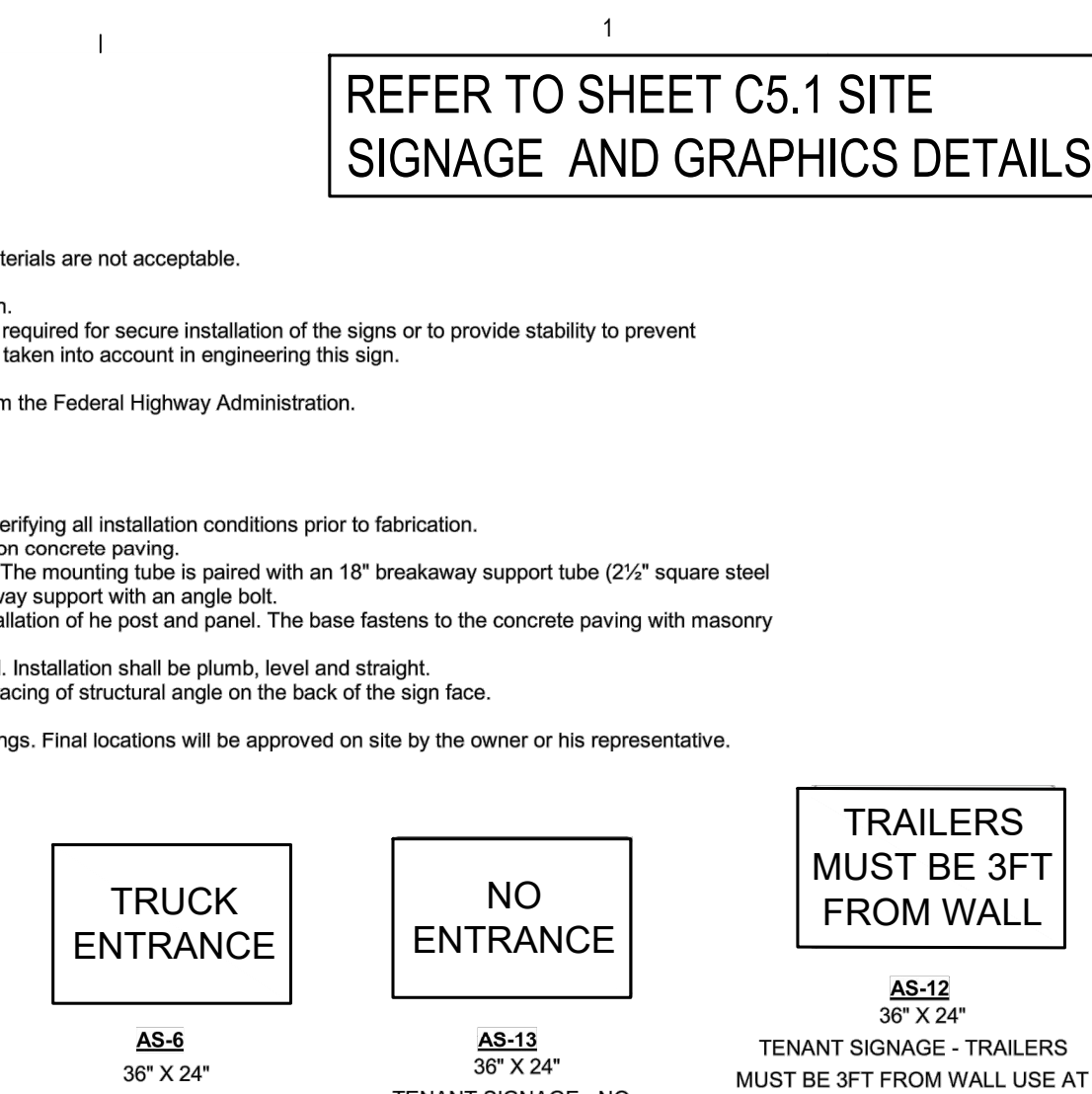
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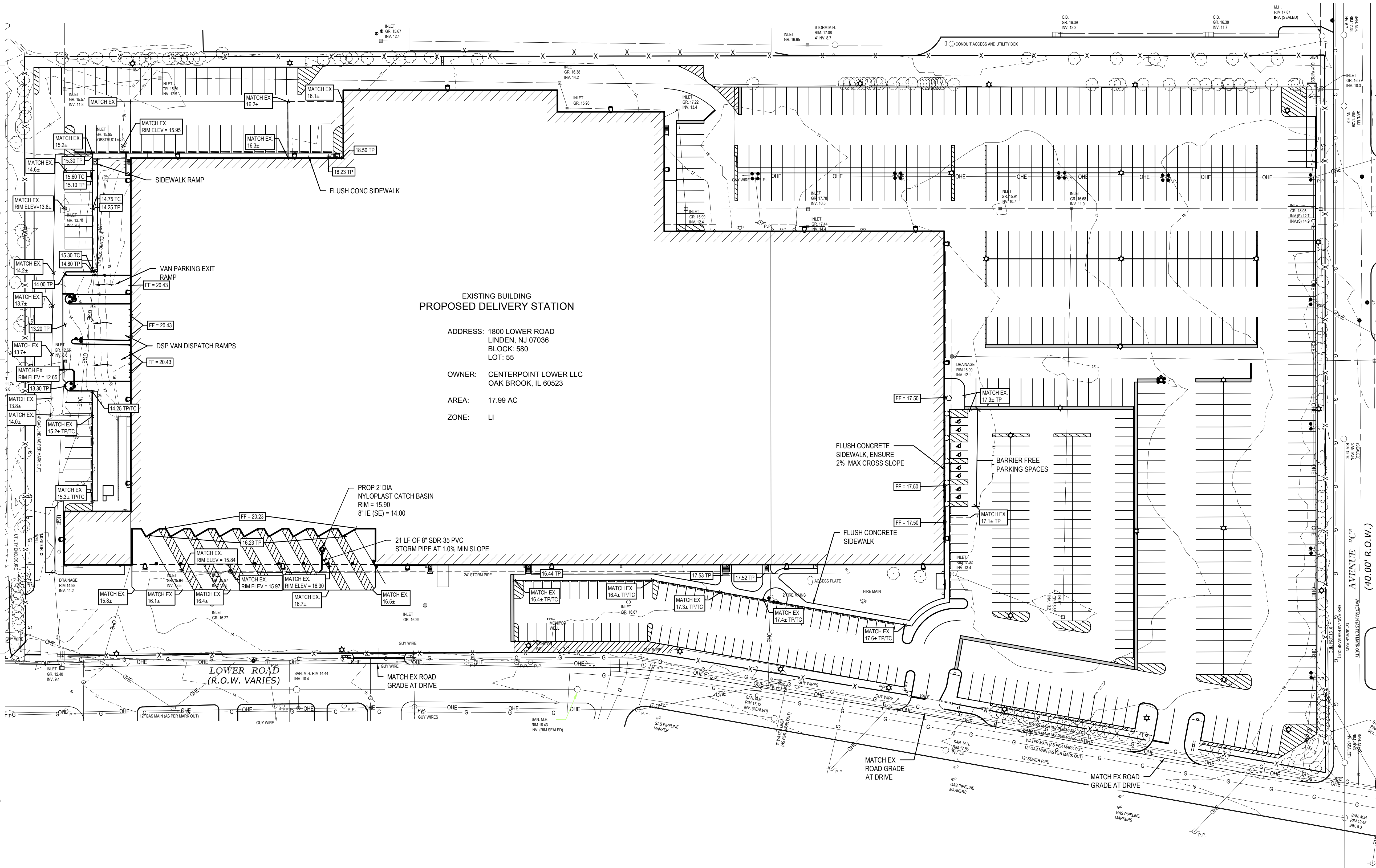
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PROJECT MANAGER JRV
PROFESSIONAL JPM
DRAWN BY JRS
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SITE LAYOUT PLAN
C2.1





CALL 811 NOTE:
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SERVICE AT LEAST 3 WORKING
DAYS PRIOR TO CONSTRUCTION,
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EXISTING UTILITIES. DIAL 811.



SITE GRADING AND DRAINAGE PLAN
1" = 50' 0 50'

BARRIER FREE NOTES

1. BARRIER FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
2. 2% MAXIMUM CROSS SLOPE ON ACCESSIBLE ROUTE(S)
3. 5% MAXIMUM LONGITUDINAL SLOPE (DIRECTION OF TRAVEL) UNLESS AT BARRIER FREE RAMP
4. 2% MAXIMUM SLOPE LONGITUDINAL AND TRANSVERSE SLOPES AT BARRIER FREE PARKING SPACES AND ASSOCIATED ACCESS AISLES
5. ACCESSIBLE ENTRIES - 2% MAXIMUM SLOPE IN ANY DIRECTION FOR THE FIRST 5' FROM ENTRY DOOR
6. CONTRACTOR TO CONTACT ENGINEER PRIOR TO PAVING IF BARRIER FREE SLOPES DO NOT COMPLY OR FOR CLARIFICATION OF ANY DISCREPANCIES.

EARTHWORK & GRADING NOTES

1. EARTHWORK AND PAVEMENT CONSTRUCTION ARE TO BE PERFORMED IN ACCORDANCE WITH THE NJDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
2. THE SUBGRADE SHALL BE THOROUGHLY PROOFROLLED USING THE EQUIVALENT OF A FULLY LOADED TANDEM AXLE TRUCK HAVING A MINIMUM AXLE WEIGHT OF 10 TONS. SOFT OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL.
3. PROOFROLLING SHALL BE PERFORMED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER.
4. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
5. GRADE THE AGGREGATE BASE MATERIAL TO PROVIDE POSITIVE DRAINAGE AT A MINIMUM OF 1.5 PERCENT.
6. THE AGGREGATE BASE AND SUBBASE SHALL EXTEND 12 INCHES BEYOND THE PAVED EDGE.
7. EXISTING SOIL ON SITE MUST BE EVALUATED BY A GEOTECHNICAL ENGINEER FOR USE AS FILL. ANY IMPORTED SOILS USED FOR ENGINEERED FILL SHALL BE EVALUATED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
8. ENGINEERED FILL LOCATED WITHIN PAVEMENT AND BUILDING AREAS SHALL BE PLACED IN 8 INCH MAXIMUM LOOSE THICKNESS AND MOISTURE CONDITIONED TO WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACT TO MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D-1557, MODIFIED PROCTOR METHOD
9. ALL FILL OPERATIONS SHALL BE OBSERVED BY A QUALIFIED SOIL TECHNICIAN. A MINIMUM OF ONE COMPACTION TEST SHALL BE CONDUCTED PER 2,500 SFT AREA AT EACH LIFT. WITHIN TRENCH EXCAVATIONS, ONE TEST SHALL BE CONDUCTED FOR EACH 100 LINEAR FEET PER LIFT.
10. SIDE SLOPES SHALL NOT EXCEED 1 VERTICAL OVER 3 HORIZONTAL SLOPE UNLESS SHOWN OTHERWISE.
11. PARKING LOT CURBS SHALL BE BUILT WITH REVERSE SLOPE ON THE DOWNHILL SIDE OF THE ISLAND TO ASSURE POSITIVE STORM WATER RUNOFF TO CATCH BASINS.
12. UNLESS SHOWN OTHERWISE, FINISH GRADES OF LAWN/LANDSCAPE ADJACENT TO BUILDING WALLS SHALL BE 6" BELOW FINISH FLOOR ELEVATION.
13. PLACE 6" MINIMUM TOPSOIL IN ALL LANDSCAPE AREAS TO BE SEED. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
14. FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.
15. ADJUST ALL CATCH BASIN AND MANHOLE RIMS TO BE FLUSH WITH PROPOSED SURFACE OF PAVEMENT.

GRADING LEGEND

	FLOW ARROW
TP	TOP OF PAVEMENT
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
GR	GROUND
GP	GUTTER PAN
FF	FINISH FLOOR ELEVATION
EX	EXISTING ELEVATION
HP	HIGH POINT
LP	LOW POINT
L	LANDING
R	RAMP
	5' TURNING RADIUS, 2% MAX SLOPE EACH DIRECTION

NOTE: SITE GRADING TO MATCH EXISTING DRAINAGE PATTERNS UNLESS OTHERWISE NOTED.

DELIVERY STATION



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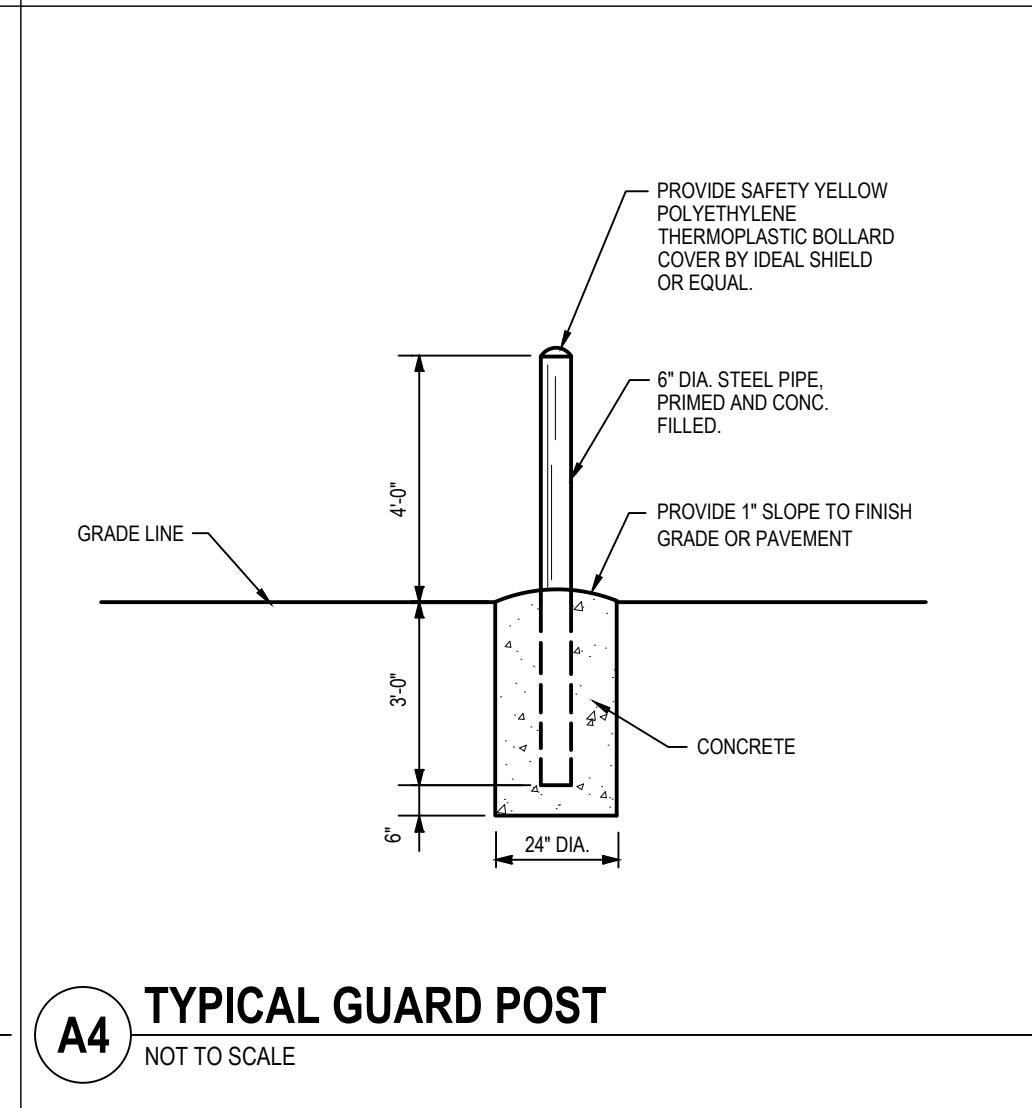
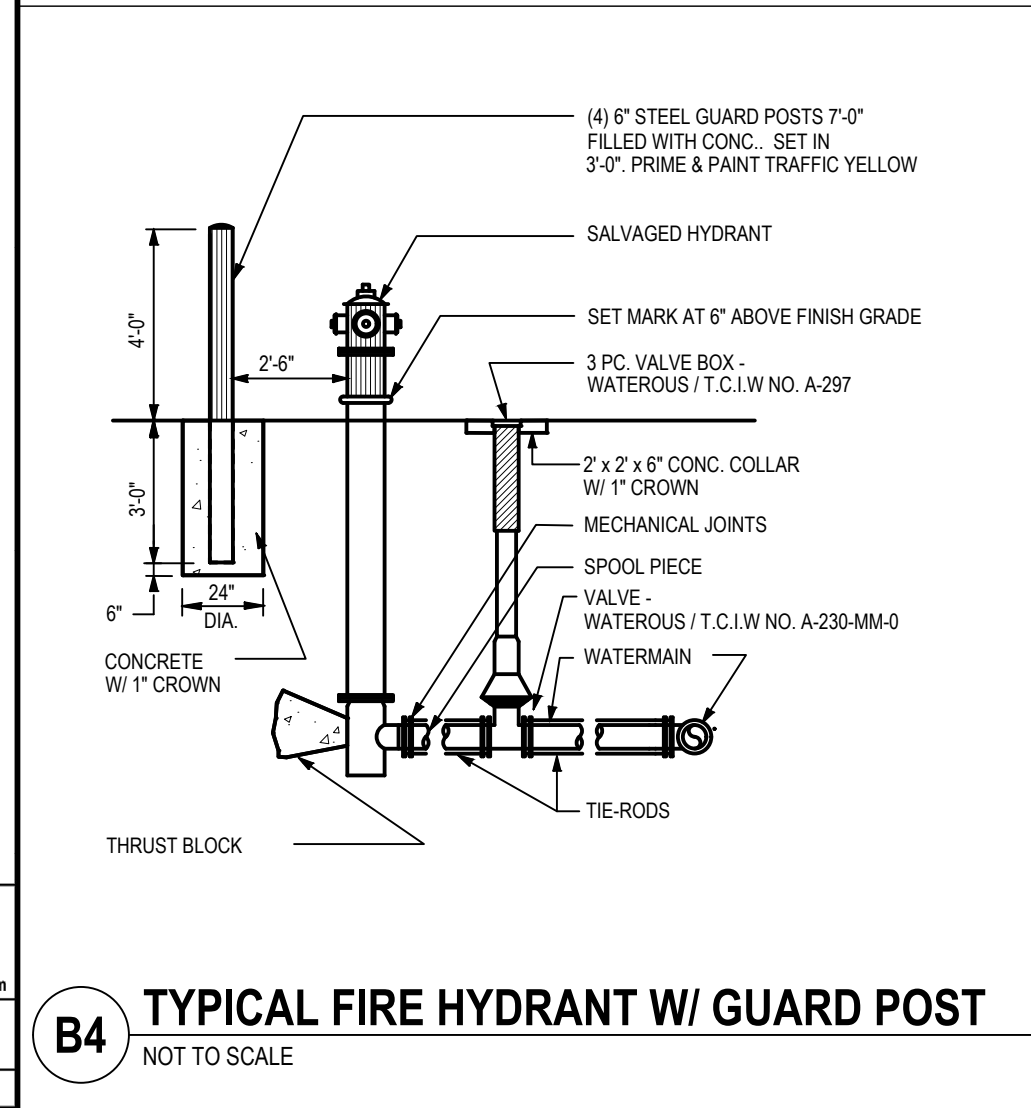
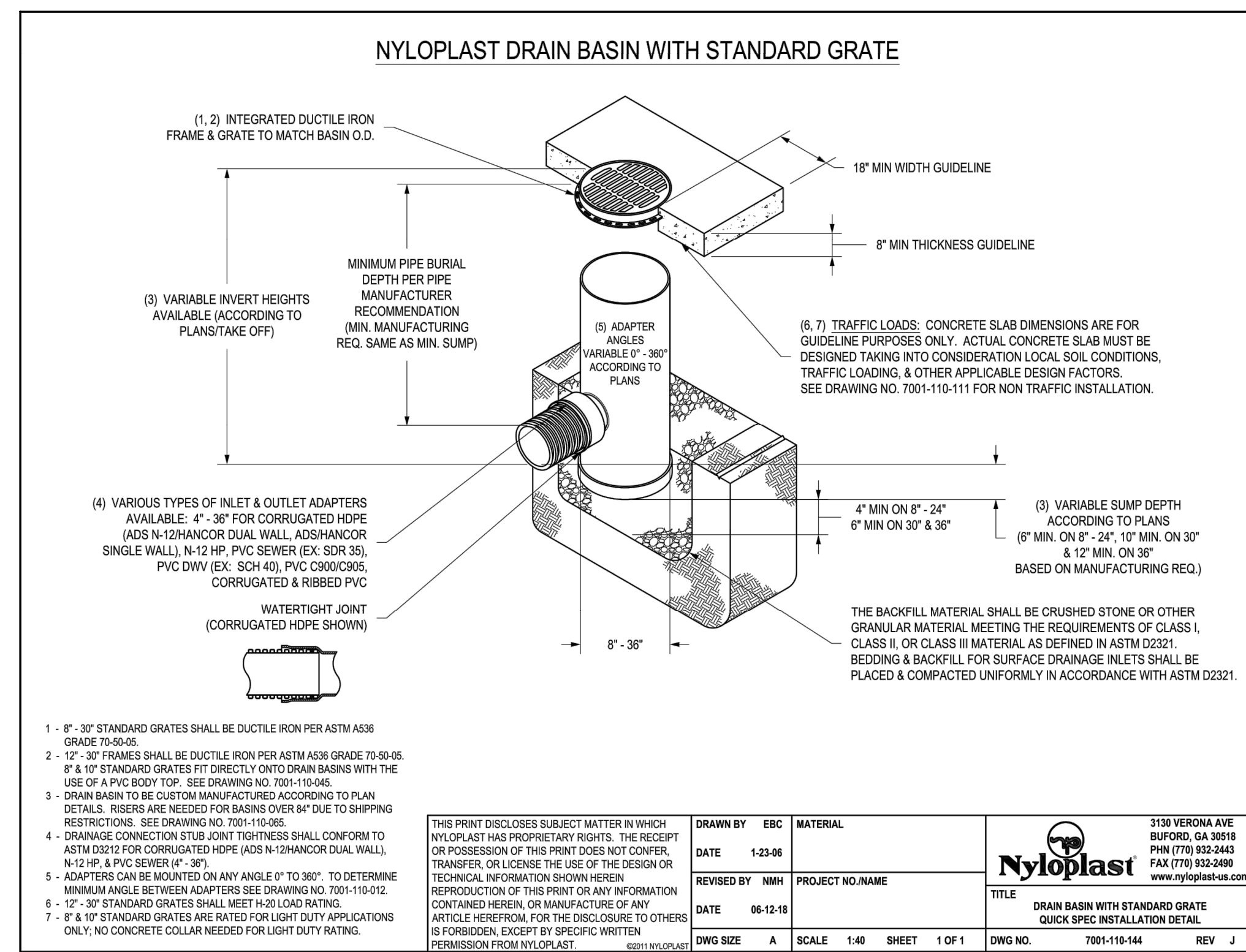
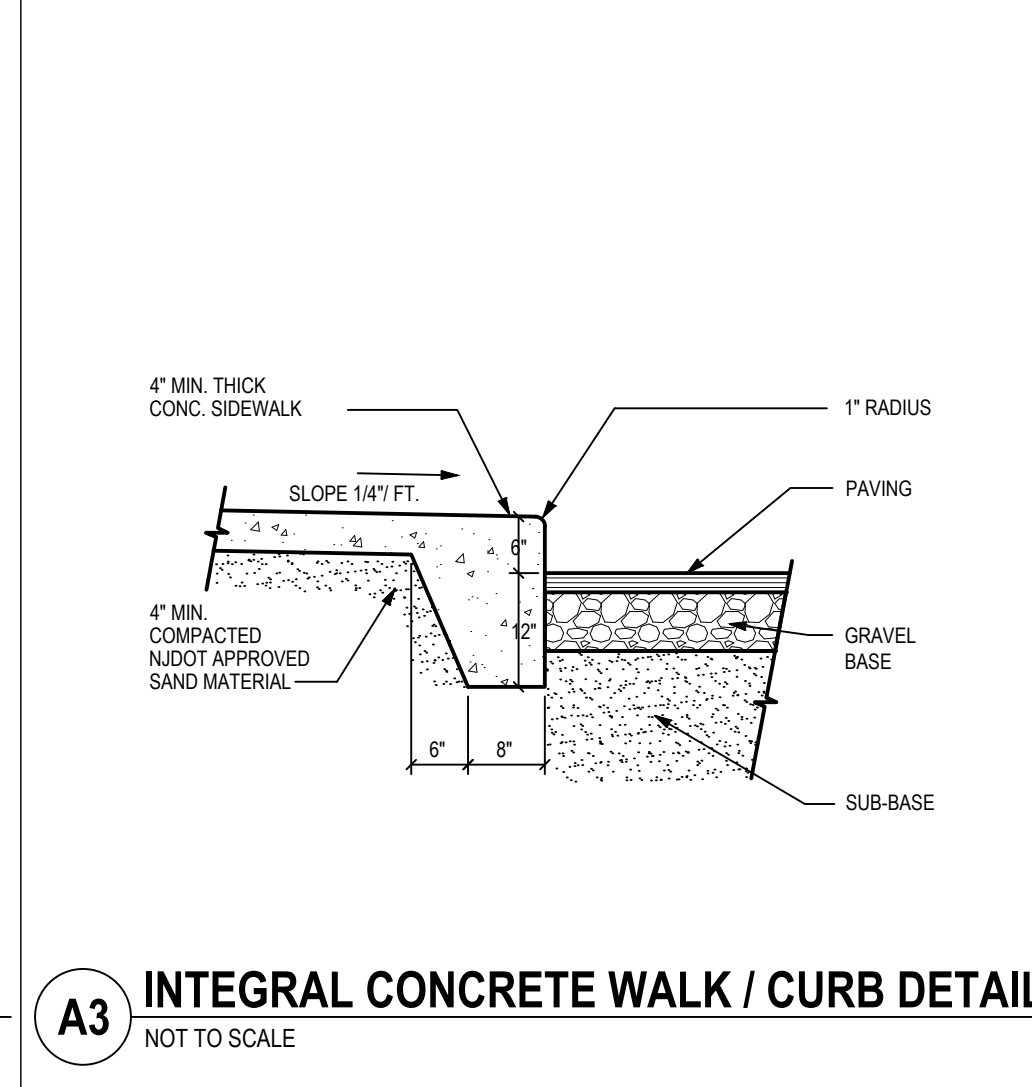
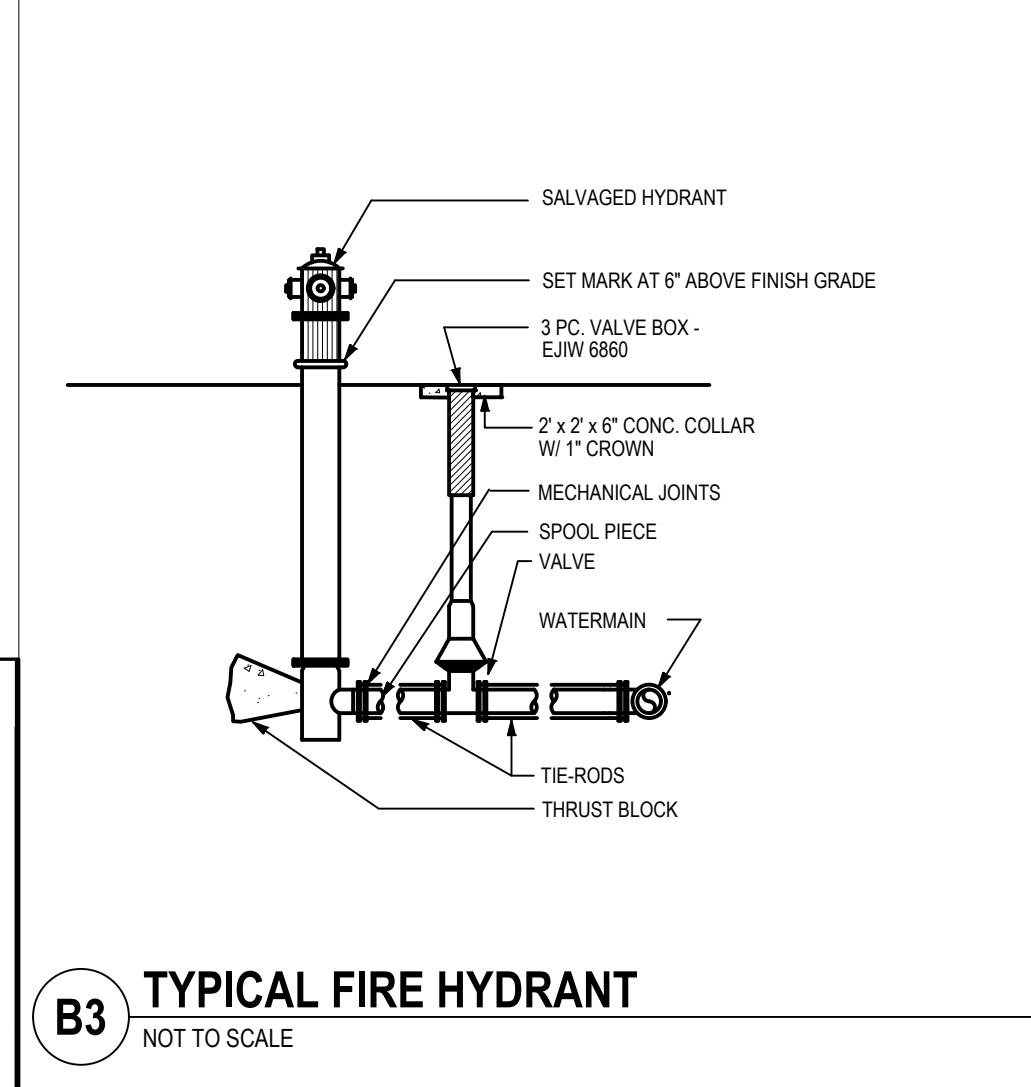
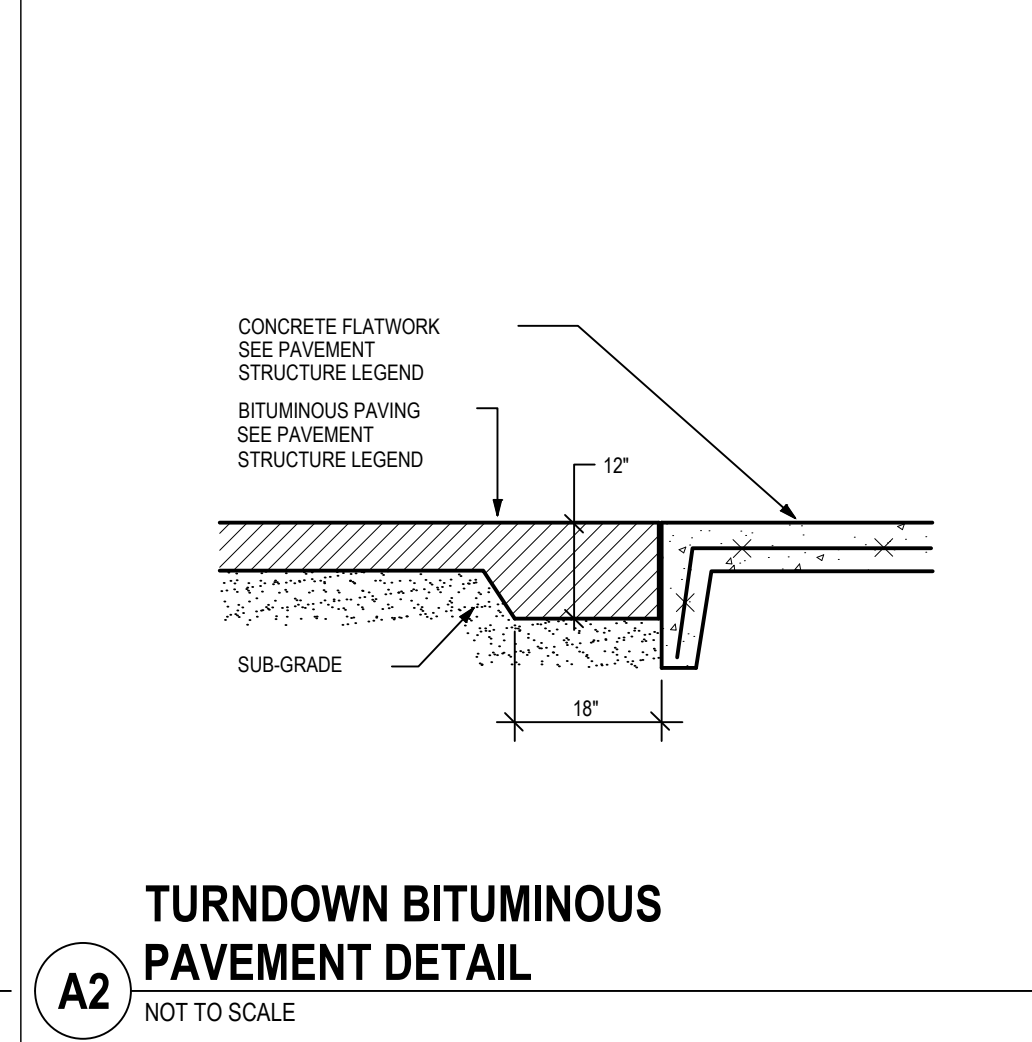
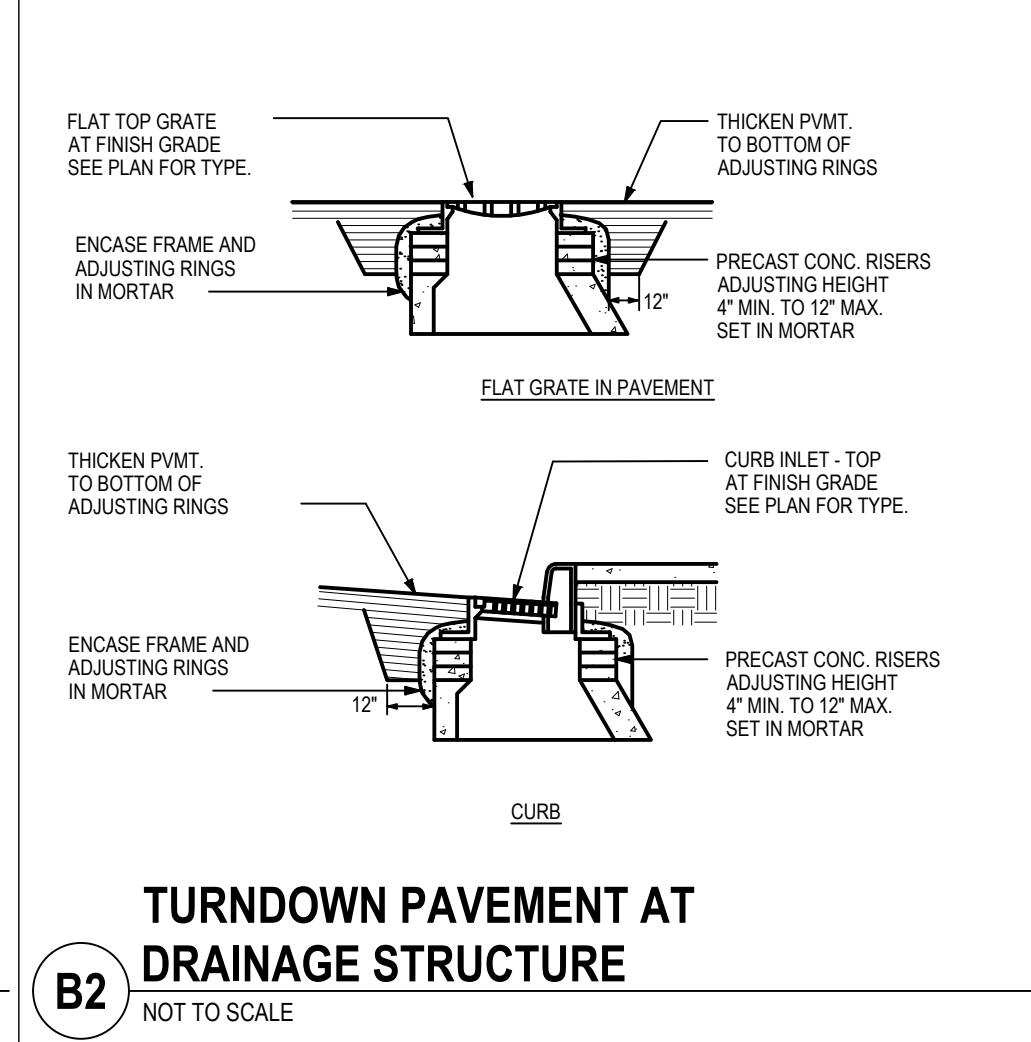
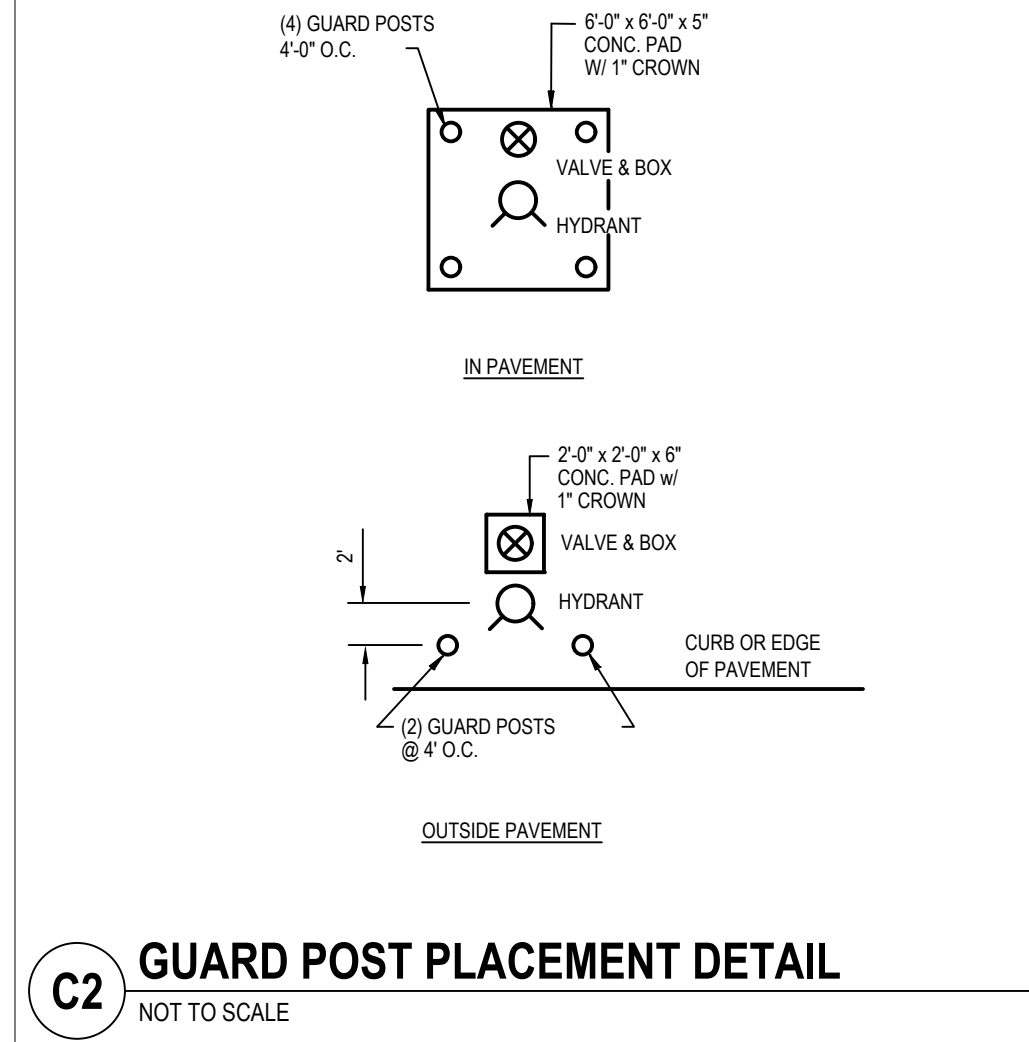
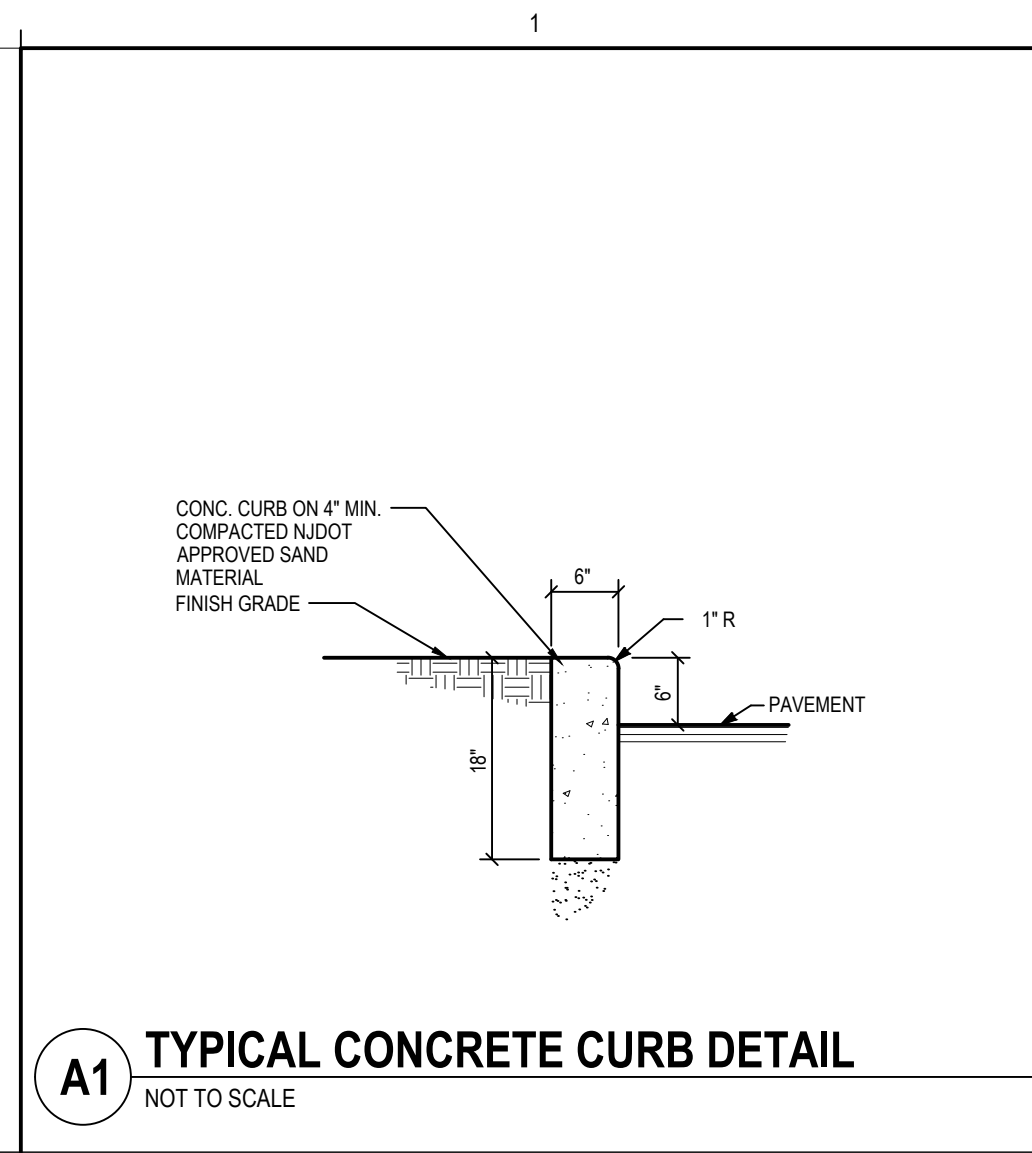
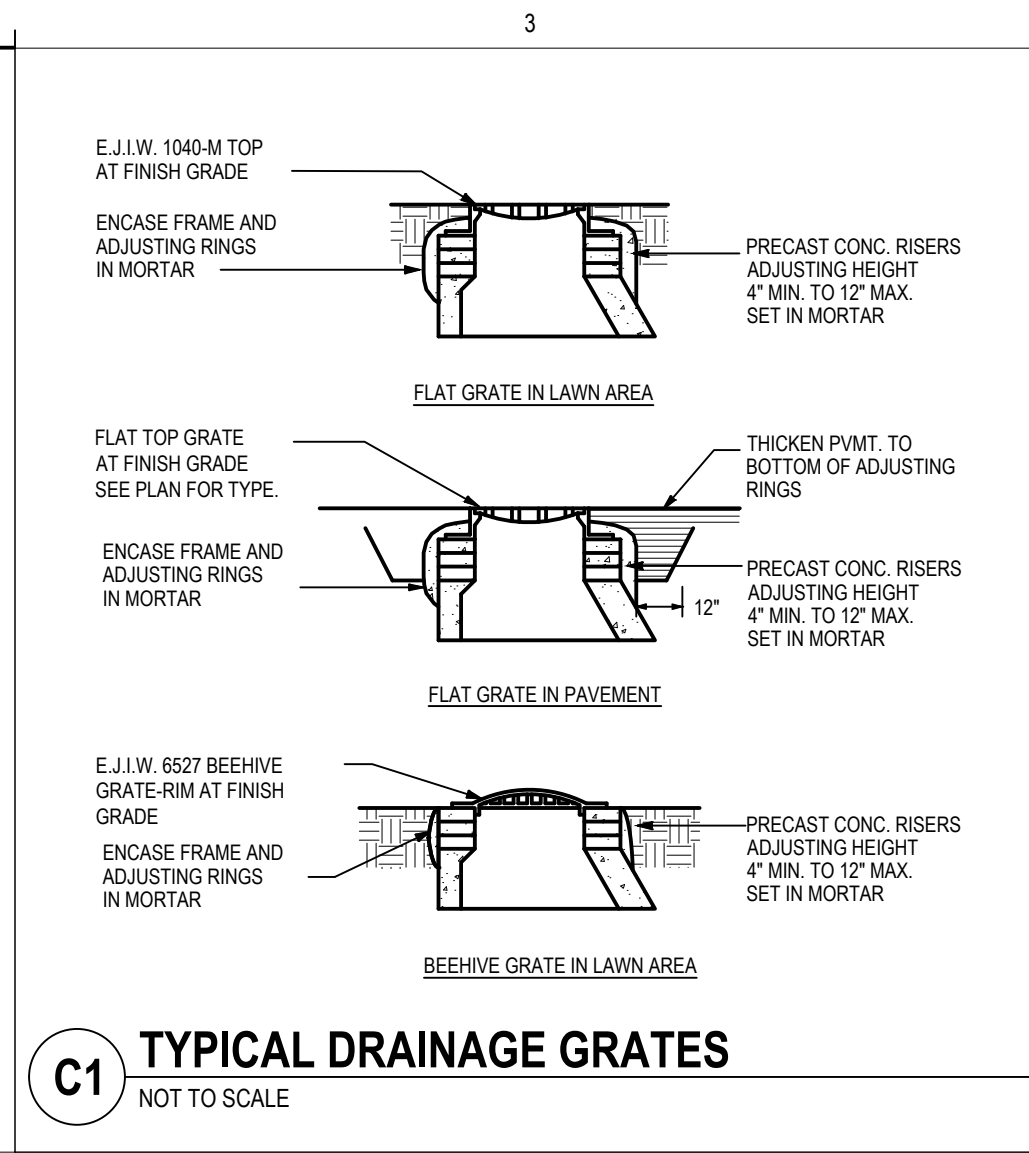
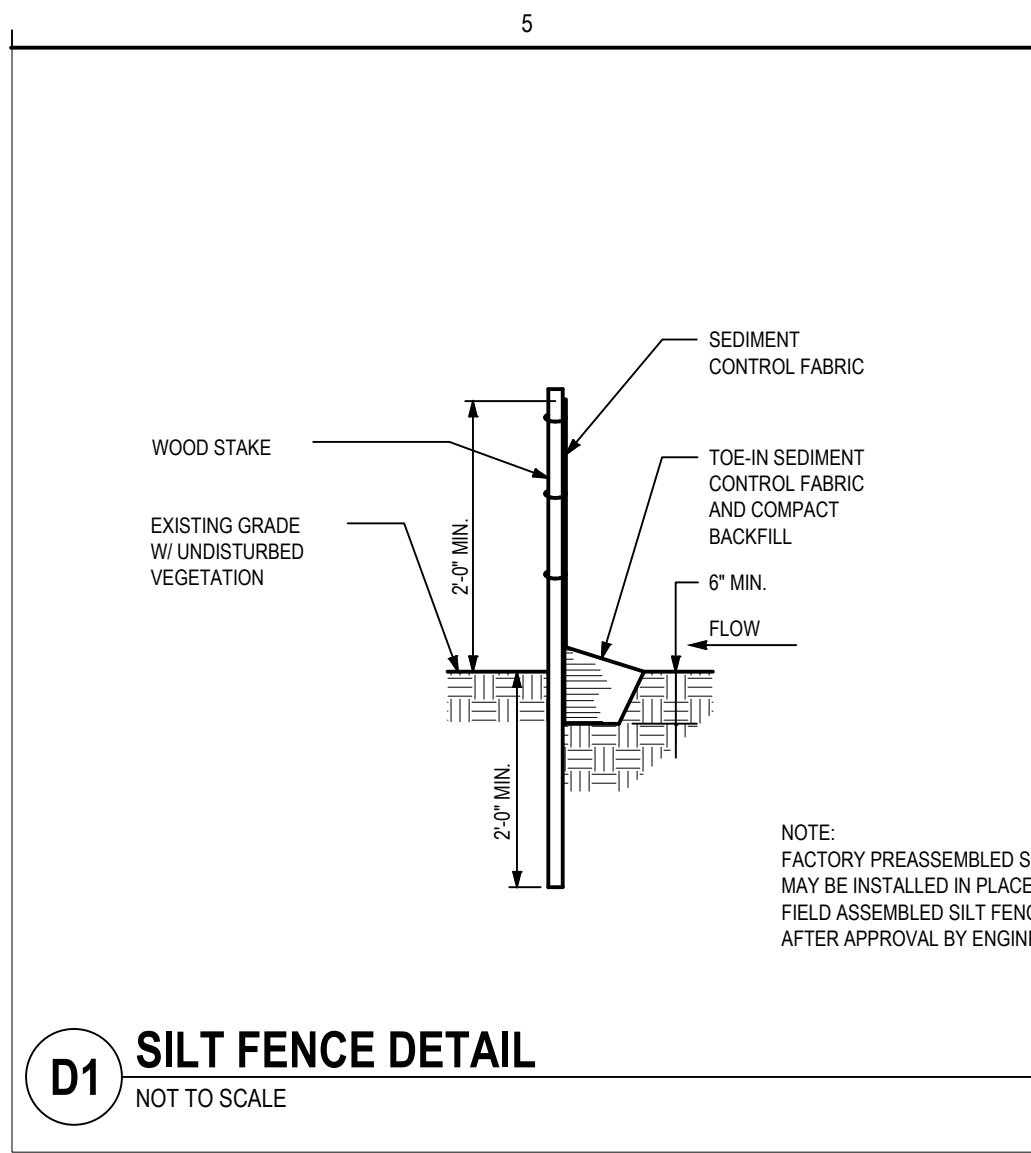
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SITE GRADING
AND DRAINAGE
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PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	REMARKS
MV	11	Malus x zumi 'Calocarpa' / Redbud Zumi Crabapple	B & B	2-1/2"	6" BRANCH HT. MIN. Matched.
NS	7	Nyssa sylvatica / Sour Gum	B & B	2-1/2"	7-8" BRANCH HT. MIN.
TG	10	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B & B	2-1/2"	7-8" BRANCH HT. MIN.
ZG	12	Zelkova serrata 'Green Vase' / Green Vase Sawleaf Zelkova	B & B	2-1/2"	6" BRANCH HT MIN. MATCHED.

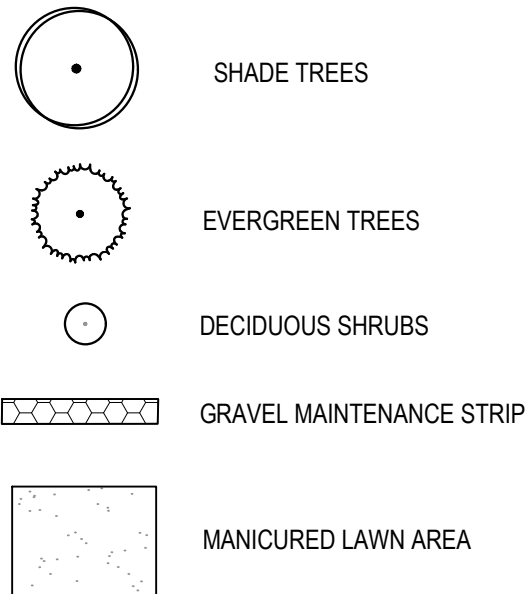
2 MAINTENANCE STRIP DETAIL

NOT TO SCALE

1 DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

LANDSCAPE LEGEND



NOTE:

1. LAWN SEED MIX: 5-7lbs. PER 1,000FT²
45% ANNUAL RYEGRASS
30% CREEPING RED FESCUE
20% PERENNIAL RYEGRASS
5% TURF TYPE TALL FESCUE

* LAWN SEEDING BASED ON NORTHAMPTON COUNTY QUICK GREEN LAWN SEED MIXTURE 610-837-6311. *OR APPROVED EQUAL.

GENERAL LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING PROJECT CONDITIONS AND VERIFYING PLANT QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF PLAN DISCREPANCIES.
- CONTRACTOR SHALL COMPLY WITH THE BOROUGH OF CARTERET, NEW JERSEY CODE OF ORDINANCES INCLUDING BUT NOT LIMITED TO PROCEDURES, INSPECTIONS, AND MAINTENANCE.
- PLANT LOCATIONS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT AND OWNER. CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING ALL EXISTING UNDERGROUND UTILITIES. CONTACT THE APPROPRIATE UTILITY COMPANY FOR FIELD STAKING ALL LINES.
- ALL AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEEDED UNLESS SHOWN OTHERWISE IN PLANS. SEE SPECIFICATIONS.
- CONTRACTOR TO CONTACT MISS DIG AT PHONE NUMBER 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION TO CONFIRM LOCATION OF EXISTING UTILITIES.
- NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUB-GRADE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.
- LANDSCAPE BEDS TO RECEIVE 2" OF HARDWOOD MULCH. TREE SAUCERS TO RECEIVE 3" OF HARDWOOD MULCH.
- ALL LANDSCAPE BEDS TO HAVE ALUMINUM EDGING. (SEE SPECIFICATIONS)
- TREES AND SHRUBS SHALL BE PLANTED APPROXIMATELY 2" ABOVE GRADE (SEE SPECIFICATIONS AND DETAILS).
- TREES AND SHRUBS WITH CIRCLING, GIRDLING, OR CONTAINER BOUND ROOTS SHALL NOT BE ACCEPTED FOR PLANTING.
- TREES TO BE A PLANTED A MINIMUM OF 6' FROM PAVEMENT EDGES UNLESS OTHERWISE SHOWN.
- PLANTING MIXTURE OF LANDSCAPED BEDS TO BE 4" DEPTH OF TOPSOIL UNLESS OTHERWISE NOTED. TOPSOIL AND MULCHES TO BE FREE OF NOXIOUS WEEDS AND DISEASED MATERIALS.
- CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUND COVERS, AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
- NOTIFY LANDSCAPE ARCHITECT AND OWNER (3 DAYS MIN. NOTICE) TO INSPECT AND TAG PLANT MATERIAL IN THE NURSERY PRIOR TO JOBSITE DELIVERY AND INSTALLATION.

ZONING NOTES

ZONE DISTRICT: LI - LIGHT INDUSTRIAL
ADJACENT ZONING: LI- LIGHT INDUSTRIAL

LANDSCAPE BUFFER SCREENING OR FENCE REQUIRED FOR OFF-STREET PARKING AREAS ADJACENT TO ROAD

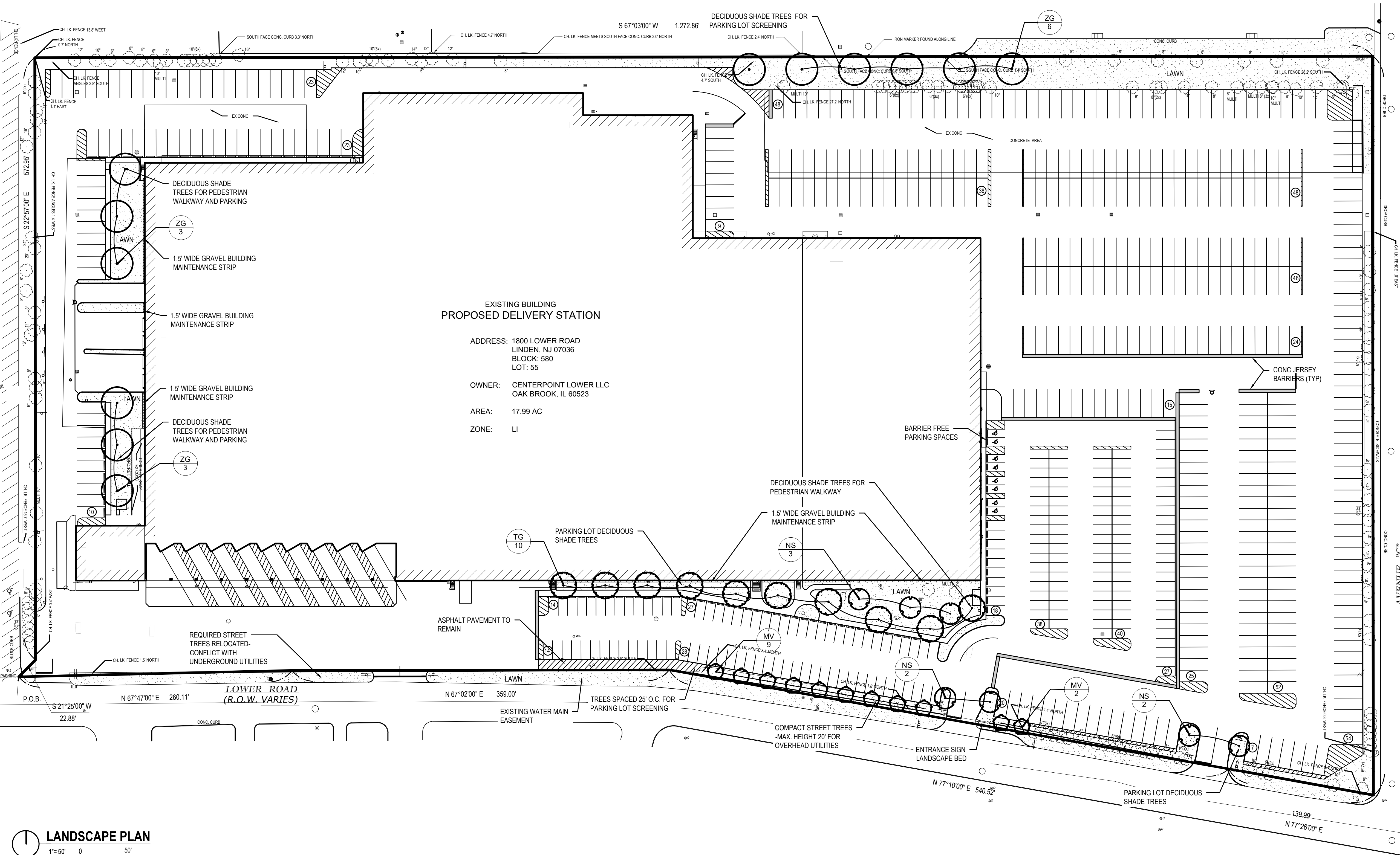
1 REQUIRED SHADE TREE FOR EVERY 50' OF NEW PEDESTRIAN WALKWAYS
PROPOSED NEW WALKWAY: 973.5 LF
REQUIRED SHADE TREES: 20 TREES

1 SHADE TREE FOR EVERY 50' OF STREET FRONTAGE
FRONTAGE WITHOUT SHADE TREES: 773 LF
REQUIRED SHADE TREES: 17 TREES
* 11 FRONTAGE TREES RELOCATED DUE TO CONFLICTS WITH OVERHEAD ELECTRIC WIRES AND UNDERGROUND UTILITIES

1 SHADE TREE FOR EVERY 12 PARKING SPACES
* FOR PROPOSED NEW PAVEMENT AREAS ONLY, NOT FOR EXISTING PARKING
NEW PAVEMENT AREA PARKING: 20 SPACES
REQUIRED SHADE TREES: 2 TREES

TOTAL REQUIRED TREES: 39 TREES
TOTAL PROPOSED TREES 40 TREES

SOIL TYPE: URBAN LAND: SANDY TO SILTY LOAM, SOMEWHAT POORLY DRAINED. HIGH RUN OFF CLASS, 6-24" TO WATER TABLE, 18-36" TO FRAGIPAN



LANDSCAPE PLAN

1"=50' 0 50'

ISSUANCE

PLANNING AND ZONING
03/17/2020

REVISIONS

NO. DATE DESCRIPTION

FILE NUMBER 83460043
PROJECT MANAGER JRV
PROFESSIONAL JRS
DRAWN BY SRV
CHECKED BY